

notes:

- All dimensions to be checked and confirmed onsite prior to any works.
- Do not scale off the drawing.
- Any errors, omissions or discrepancies are to be brought to the attention of the project manager immediately.

key:



02/11/22

DERBYN - Adran Cynllunio Pwllheli

lingard-farrow-styles
landscape architects • urban designers • sustainability consultants

ref:	date:	description:
-	25/07/22	first issue

tel: 01753 4561132 fax: 01743 243602
email: info@lingardstyles.co.uk

9 College Hill, Shrewsbury Shropshire SY1 1LZ
The Studio, Farm Lodge, Leighton, Widdow, Powys, SY21 8W1

client / project:



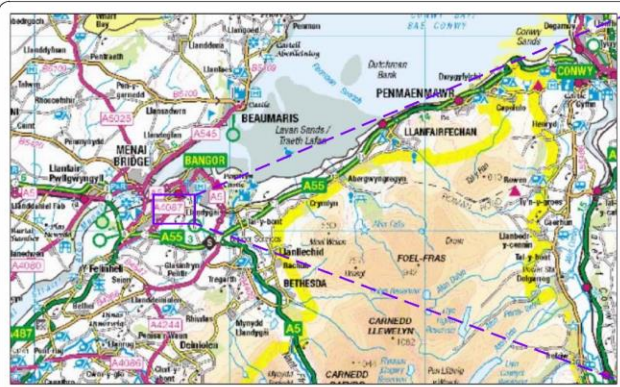
GTG
Ysgol Ein Harglwyddes
Caernarfon Road
Bangor
Gwynedd LL57 4SG

title:

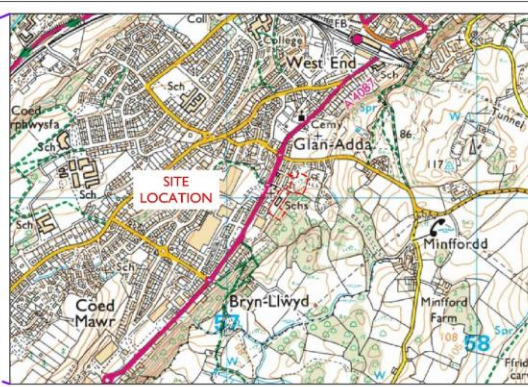
Site Location Plan

shop no: GTG-LFS-XX-XX-DR-L-0030 scale: 1:1250 @ A3 drawn: THF checked by: PS

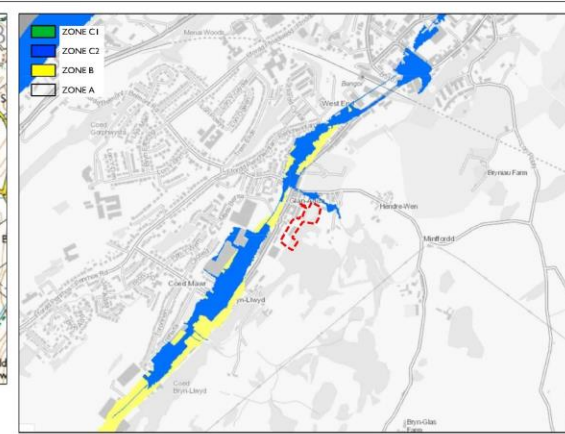
DO NOT SCALE FROM DRAWING. © DRAWING IS COPYRIGHT



APPROX SCALE 1:125,000



APPROX SCALE 1:10,000



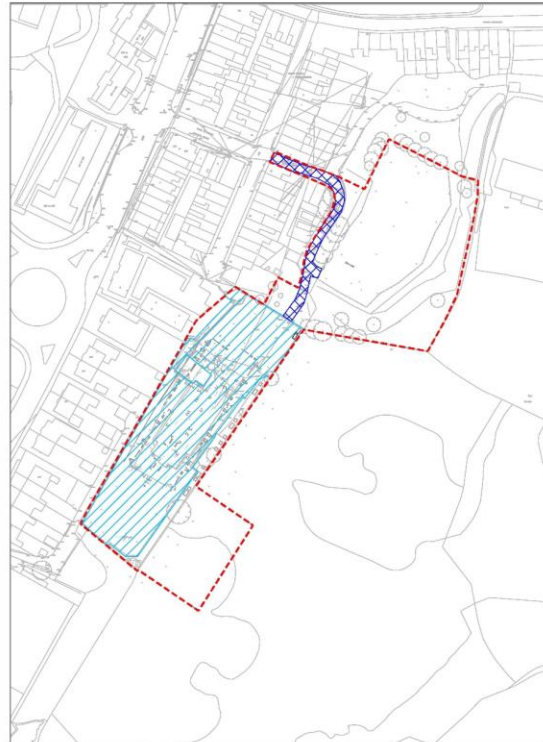
DEVELOPMENT ADVICE MAP
APPROX SCALE 1:10,000

SITE CO-ORDINATES
 OS X (Eastings) 25217
 OS Y (Northings) 37093
 Nearest Post Code LL57 40F
 NAD Grid SH472709 / SH572170993

AREAS

- SITE BOUNDARY 10,120m² (1.012 ha)
- EXISTING IMPERMEABLE AREA (SCHOOL AREA) 3,550m² (0.355 ha)
- EXISTING IMPERMEABLE AREA (ACCESS ROAD) 290m² (0.029 ha)
- PROPOSED IMPERMEABLE AREA 4,390m² (0.439 ha)
- IMPERMEABLE AREA TO DRAIN AS EXISTING 260m² (0.026 ha)

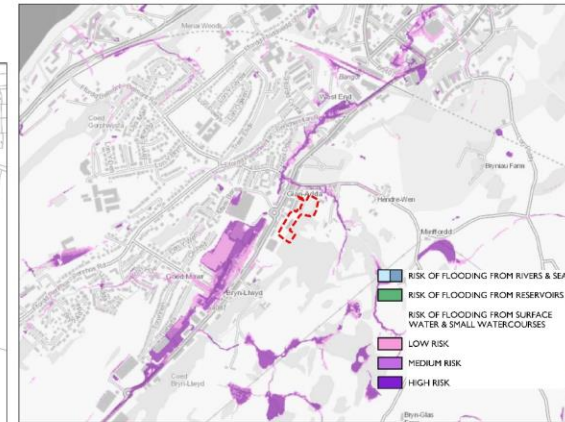
02/11/22
 DERBYN - Adran Cynllunio Pwllheli



EXISTING IMPERMEABLE AREA
APPROX SCALE 1:1000



PROPOSED IMPERMEABLE AREA
APPROX SCALE 1:1000



SURFACE WATER FLOOD RISK MAP
APPROX SCALE 1:10,000



EXISTING SATELLITE IMAGE
APPROX SCALE 1:4,000

NO	DESCRIPTION	BY	CHKD	DATE

NO	SITE BOUNDARY AMENDED	JR	RH	JP	10.08.2022
REV	DESCRIPTION	BT	CH4	APR	DATE

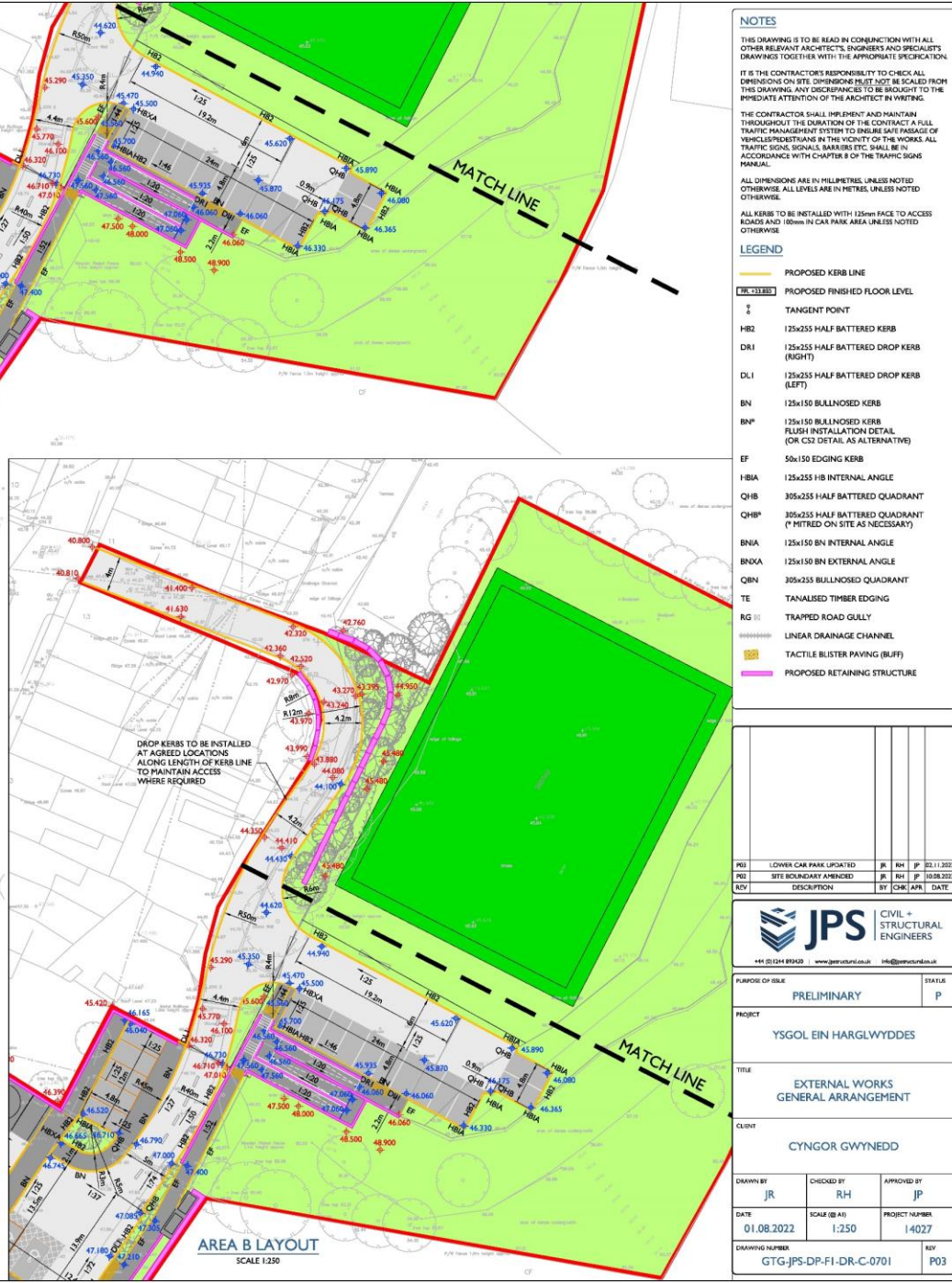
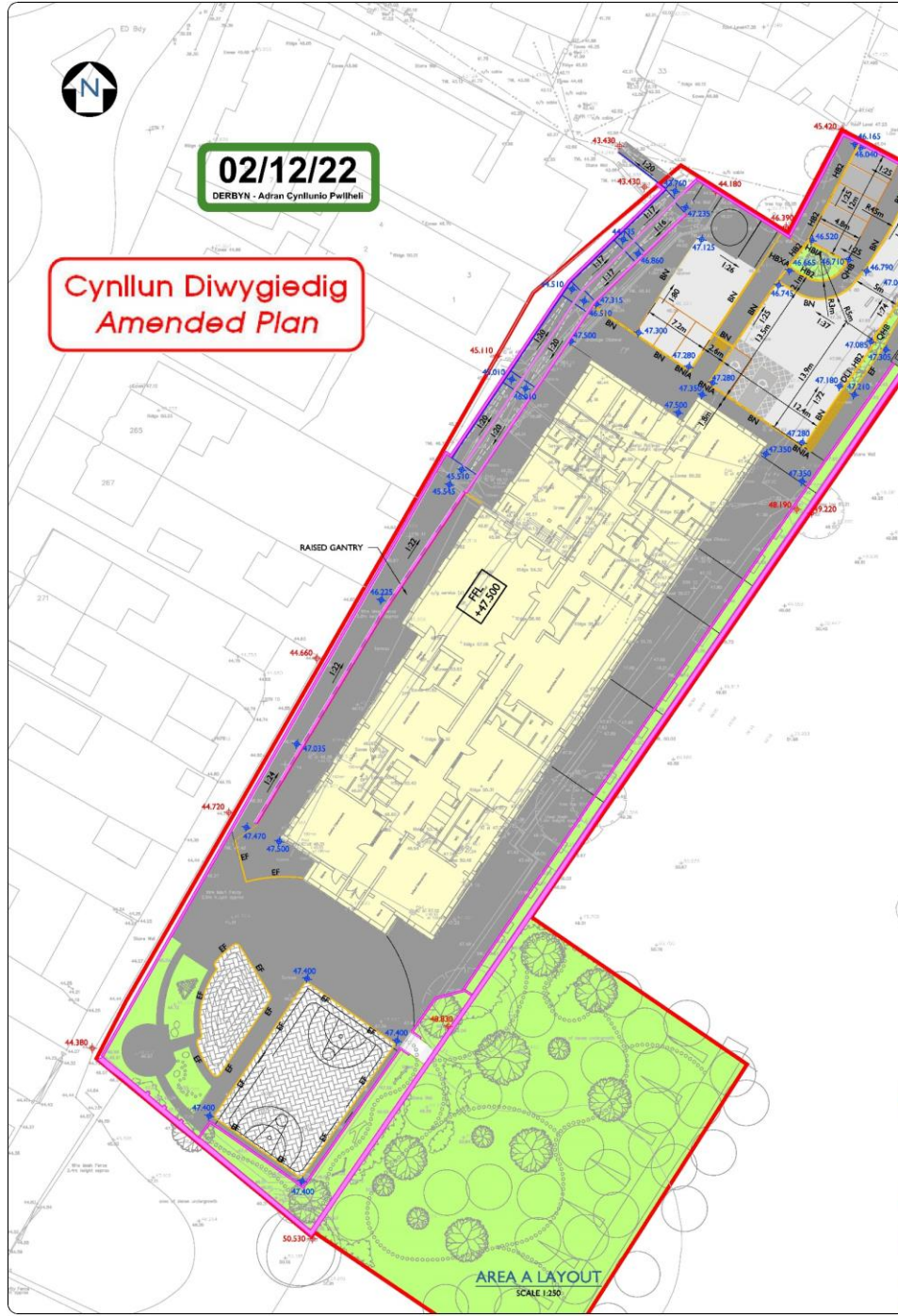
JPS CIVIL + STRUCTURAL ENGINEERS
 **44 (0) 244 89300 | www.jps-engineers.co.uk | info@jps-engineers.co.uk

PURPOSE OF ISSUE	PRELIMINARY	STATUS	P	
PROJECT	YSGOL EIN HARGLWYDDES			
TITLE	DRAINAGE SCHEME SITE INFORMATION			
CLIENT	CYNGOR GWYNEDD			
DRAWN BY	JR	CHECKED BY	RH	
DATE	04.08.2022	APPROVED BY	JP	
DRAWING NUMBER	GTG-JPS-DP-FI-DR-C-0500		PROJECT NUMBER	14027
REV	P02		SCALE (@ A1)	As Shown



02/12/22
DERBYN - Adran Cynllunio Pwllheli

**Cynllun Diwygiedig
Amended Plan**



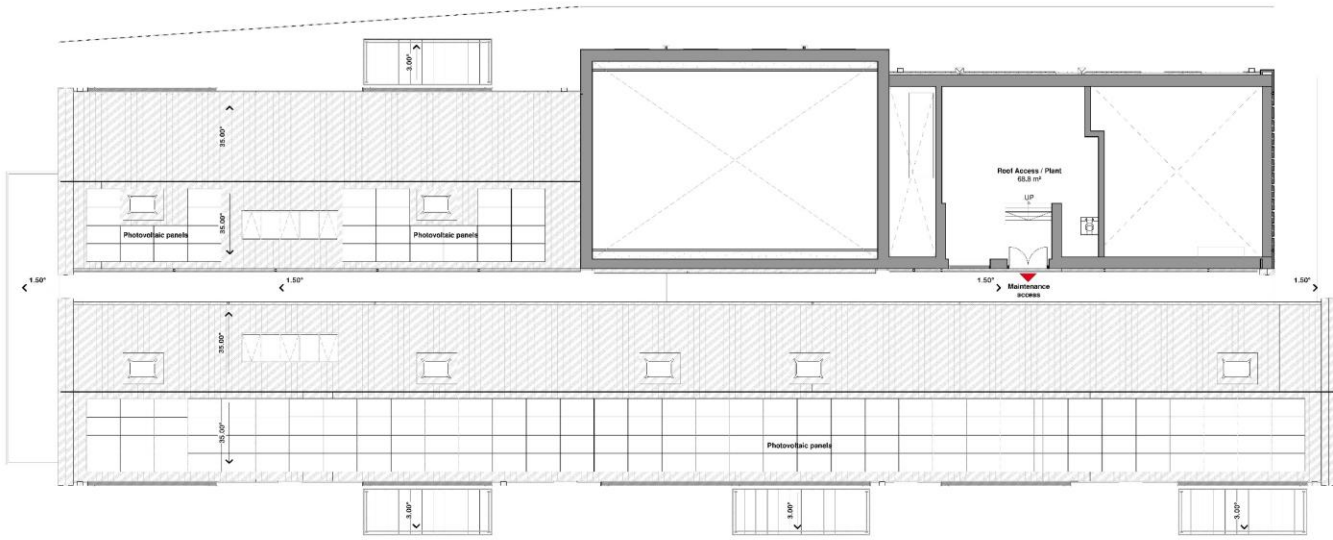
- NOTES**
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT ARCHITECTS, ENGINEERS AND SPECIALISTS DRAWINGS TOGETHER WITH THE APPROPRIATE SPECIFICATION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK ALL DIMENSIONS ON SITE. DIMENSIONS MUST NOT BE SCALED FROM THIS DRAWING. ANY DISCREPANCIES TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT BY WRITING.
- THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN THROUGHOUT THE DURATION OF THE CONTRACT A FULL TRAFFIC MANAGEMENT SYSTEM TO ENSURE SAFE PASSAGE OF VEHICLE OPERATORS IN THE VICINITY OF THE WORKS. ALL TRAFFIC SIGNS, SIGNALS, BARRIERS ETC. SHALL BE IN ACCORDANCE WITH CHAPTER 8 OF THE TRAFFIC SIGNS MANUAL.
- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE. ALL LEVELS ARE IN METRES, UNLESS NOTED OTHERWISE.
- ALL KERBS TO BE INSTALLED WITH 125mm FACE TO ACCESS ROADS AND 100mm IN CAR PARK AREA UNLESS NOTED OTHERWISE.
- LEGEND**
- PROPOSED KERB LINE
 - PROPOSED FINISHED FLOOR LEVEL
 - TANGENT POINT
 - HBR 125x255 HALF BATTERED KERB
 - DR1 125x255 HALF BATTERED DROP KERB (RIGHT)
 - DL1 125x255 HALF BATTERED DROP KERB (LEFT)
 - BN 125x150 BULLNOSED KERB
 - BN* 125x150 BULLNOSED KERB FLUSH INSTALLATION DETAIL (OR CS2 DETAIL AS ALTERNATIVE)
 - EF 50x150 EDGING KERB
 - HBA 125x255 HB INTERNAL ANGLE
 - QHB 305x235 HALF BATTERED QUADRANT
 - QHBA 305x235 HALF BATTERED QUADRANT (* MITRED ON SITE AS NECESSARY)
 - BNIA 125x150 BN INTERNAL ANGLE
 - BNXA 125x150 BN EXTERNAL ANGLE
 - QBN 305x235 BULLNOSED QUADRANT
 - TE TANALISED TIMBER EDGING
 - RG □ TRAPPED ROAD GULLY
 - LINEAR DRAINAGE CHANNEL
 - TACTILE BLISTER PAVING (BLUFF)
 - PROPOSED RETAINING STRUCTURE

REV	DESCRIPTION	BY	CHK	APP	DATE
001	LOWER CAR PARK UPDATED	JR	RH	JP	22.11.2022
002	SITE BOUNDARY FINISHED	JR	RH	JP	16.08.2022
003					
004					

JPS CIVIL + STRUCTURAL ENGINEERS
+44 (0)1248 89340 | www.jpsstructural.co.uk | info@jpsstructural.co.uk

PROJECT	PRELIMINARY	STATUS	P
PROJECT	YSGOL EIN HARGLWYDDDES		
TITLE	EXTERNAL WORKS GENERAL ARRANGEMENT		
CLIENT	CYNGOR GWYNEDD		
DRAWN BY	JR	CHECKED BY	RH
DATE	01.08.2022	APPROVED BY	JP
DRAWING NUMBER	GTG-JPS-DP-FI-DR-C-0701	SCALE (B A3)	1:250
PROJECT NUMBER	14027	SCALE (B A4)	1:250
REV	P03	PROJECT NUMBER	14027

02/11/22
DERBYN - Adran Cynllunio Pwllheli



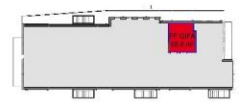
Room Schedule		
Number	Name	Area
00Ground	Specialist Practical	60.0 m ²
	Nursery Classroom	48.7 m ²
	Infant Classroom	60.0 m ²
	Infant Classroom	60.0 m ²
	WC	5.0 m ²
	Store	4.0 m ²
	Cloaks	5.0 m ²
	Hygiene Room	12.0 m ²
	Staff Room	18.8 m ²
	Staff WC	4.0 m ²
	SPA/Relax	9.0 m ²
	Book Bay	0.7 m ²
	Caravan St	2.0 m ²
	Store	7.0 m ²
	WC	5.0 m ²
	WC	5.0 m ²
	Main Hall	190.0 m ²
	Junior Classroom	59.0 m ²
	Junior Classroom	60.0 m ²
	WC	5.0 m ²
	WC	5.0 m ²
	Break Room	6.0 m ²
	Cloaks	17.0 m ²
	Cloaks	17.5 m ²
	Closets	5.0 m ²
	Store	0.3 m ²
	Store	0.2 m ²
	PE Store	12.0 m ²
	Headteacher Office	10.7 m ²
	Office	8.0 m ²
	Via WC	4.1 m ²
	Store	0.7 m ²
	Store	7.0 m ²
	Lobby	7.0 m ²
	Plant Rooms	19.1 m ²
	Cyflwr Methrin	59.0 m ²
	Changing Room	5.0 m ²
	Cloaks	5.0 m ²
	WC	9.0 m ²
	Cyflwr Office	5.0 m ²
	Cyflwr Kitchen	8.1 m ²
	Office	5.0 m ²
	WC / Change	5.0 m ²
	Lobby	6.0 m ²
	Clean St	1.5 m ²
	Sanitary	17.1 m ²
	Kitchen	28.0 m ²
	Store	12.0 m ²
	Library	16.0 m ²
	Group Room	8.5 m ²
	SEN Therapy /	12.0 m ²
	SEN Room	12.0 m ²
	SEN Co	12.2 m ²
	Circulation	34.9 m ²
	Lobby	4.0 m ²
	Circulation	41.0 m ²
	Circulation	18.0 m ²
	Reception	10.1 m ²
	Comm Room	5.0 m ²
	Store	5.0 m ²
	RF Access	6.0 m ²
	Lobby	6.0 m ²
	WC	5.0 m ²
	Cloaks	8.0 m ²
	Store	5.0 m ²
	Switch Room	7.0 m ²
	Circulation	19.7 m ²
	Circulation	17.0 m ²
01First	Roof Access / Plant	68.8 m ²
		1,220.0 m ²

NOTE: Approx 66m² over SGA B899 area due to increased cloak (24m²), circulation (8m²), plant (5m²), toilets (8m²), Practical room WC/cloaks/increase store (7 m²), increase plant room (8m²).

Area Type Total		
Building Bulletin	Department	Area
Basic Teaching	Net Area	406.4 m ²
Info	Net Area	160.0 m ²
Learning Resource	Net Area	36.7 m ²
Staff & Admin	Net Area	73.2 m ²
Storage	Net Area	47.1 m ²
Net Area		815.4 m ²
Circulation	Non Net Area	171.8 m ²
Kitchen	Non Net Area	62.0 m ²
Plant	Non Net Area	31.0 m ²
Toilets	Non Net Area	70.0 m ²
Non Net Area		336.7 m ²
Roof total		1,183.7 m ²

NOTE: First Floor plant deck omitted at present

GIFA = 1267.9m² + 68.8m² = 1336.7m²



0 1 2 3 4m

1:100 @ A

- Notes
- 1. All work to be in accordance with the Building Regulations 2010.
 - 2. All work to be in accordance with the relevant parts of BS 5622.
 - 3. All work to be in accordance with the relevant parts of BS 5623.
 - 4. All work to be in accordance with the relevant parts of BS 5624.
 - 5. All work to be in accordance with the relevant parts of BS 5625.
 - 6. All work to be in accordance with the relevant parts of BS 5626.
 - 7. All work to be in accordance with the relevant parts of BS 5627.
 - 8. All work to be in accordance with the relevant parts of BS 5628.
 - 9. All work to be in accordance with the relevant parts of BS 5629.
 - 10. All work to be in accordance with the relevant parts of BS 5630.

Revisions

No.	Description	Date
1	Issue for tender	02/11/22
2	Issue for construction	02/11/22
3	Issue for construction	02/11/22

GTG-KMA-02-01-DR-
A-7011
[Building]
Stability_LPA_Plan_01First

Our Lady's Primary School
Glanada, Tan y Graig

Revision: P05
Status: S3 | Review
Project Number: NGA1075
Drawn By: CJ
Authorised By: PAF
Date: 22/07/24

[NOT JUST] architecture

10 Malpas Street | CH1 3RQ
CHESTER | 01244 478005
www.notjustarchitecture.com

02/11/22
DERBYN - Adran Cynllunio Pwllheli



0 1 2 3 4m
1:100 @ A

Notes

1. All work to be carried out in accordance with the Building Regulations 2010.
2. All work to be carried out in accordance with the relevant British Standards.
3. All work to be carried out in accordance with the relevant local authority requirements.
4. All work to be carried out in accordance with the relevant health and safety regulations.
5. All work to be carried out in accordance with the relevant environmental regulations.
6. All work to be carried out in accordance with the relevant fire safety regulations.
7. All work to be carried out in accordance with the relevant accessibility regulations.
8. All work to be carried out in accordance with the relevant energy efficiency regulations.
9. All work to be carried out in accordance with the relevant noise regulations.
10. All work to be carried out in accordance with the relevant air quality regulations.
11. All work to be carried out in accordance with the relevant water efficiency regulations.
12. All work to be carried out in accordance with the relevant waste management regulations.
13. All work to be carried out in accordance with the relevant planning regulations.
14. All work to be carried out in accordance with the relevant conservation regulations.
15. All work to be carried out in accordance with the relevant listed building regulations.
16. All work to be carried out in accordance with the relevant ancient monuments regulations.
17. All work to be carried out in accordance with the relevant scheduled monuments regulations.
18. All work to be carried out in accordance with the relevant World Heritage Site regulations.
19. All work to be carried out in accordance with the relevant National Park regulations.
20. All work to be carried out in accordance with the relevant National Nature Reserve regulations.
21. All work to be carried out in accordance with the relevant Special Areas of Conservation regulations.
22. All work to be carried out in accordance with the relevant Special Scientific Areas regulations.
23. All work to be carried out in accordance with the relevant Special Protection Areas regulations.
24. All work to be carried out in accordance with the relevant Special Reserve regulations.
25. All work to be carried out in accordance with the relevant Special Wildlife Sites regulations.
26. All work to be carried out in accordance with the relevant Special Woodlands regulations.
27. All work to be carried out in accordance with the relevant Special Grasslands regulations.
28. All work to be carried out in accordance with the relevant Special Grassland Sites regulations.
29. All work to be carried out in accordance with the relevant Special Grassland Sites (Ancient Woodlands) regulations.
30. All work to be carried out in accordance with the relevant Special Grassland Sites (Ancient Woodlands) (Ancient Woodlands) regulations.

Revision Notes

Rev	Description	Date
01	Issue for tender	02/11/22
02	Revised elevations	02/11/22
03	Final elevations	02/11/22

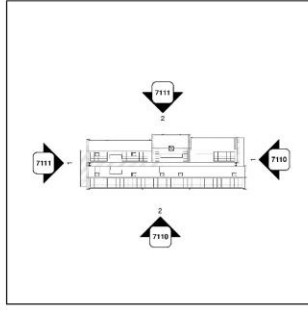
1 LPA_Elevation_Proposed_NorthEast
Scale: 1:100



2 LPA_Elevation_Proposed_SouthEast
Scale: 1:100

Legend | GA Elevations

	Element Wall	Concrete Fibre Casting System
	Product Wall	Fobite
	Finish Wall	Fobite
	Element Wall	Rubicon Rec Brick
	Product Wall	Rubicon Rec Brick
	Finish Wall	Red
	Element Roof	Metal standing seam
	Product Roof	Metal standing seam
	Finish Roof	Dark grey
	Element Façade	Metal facade
	Product Façade	Metal facade
	Finish Façade	Dark grey
	Element Canopy and window bashing	Metal finish
	Product Canopy and window bashing	Metal finish
	Finish Canopy and window bashing	Chive green



GTG-NJA-02-ZZ-DR-
A-7110
[Building]
Statutory LPA Elevation,
Proposed 01

Our Lady's Primary School
Glanada, Tan y Graig

Revision: P06
Status: S1 / Approval
Project Number: NJA1075
Drawn By: CJ
Authorised By: PAF
Date: 22/07/24

[NOT JUST]
architecture

10 Niddale Street | CH1 9RE
CHESTER | 01244 478005
www.notjustarchitecture.com

02/11/22
DERBYN - Adran Cynllunio Pwllheli



2No. Bat bricks/bat tubes spaced out along the south-west facing elevation

1 Elevation_Proposed_SouthWest
Scale: 1 : 100



2 Elevation_Proposed_NorthWest
Scale: 1 : 100

0 1 2 3 4m
1:100 @ A

Notes

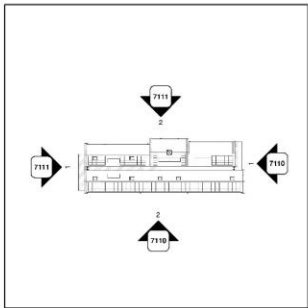
1. All work to be in accordance with the current Building Regulations.
2. All work to be in accordance with the current Planning Regulations.
3. All work to be in accordance with the current Environmental Regulations.
4. All work to be in accordance with the current Health and Safety Regulations.
5. All work to be in accordance with the current Fire Regulations.
6. All work to be in accordance with the current Electrical Regulations.
7. All work to be in accordance with the current Gas Regulations.
8. All work to be in accordance with the current Water Regulations.
9. All work to be in accordance with the current Drainage Regulations.
10. All work to be in accordance with the current Road Works Regulations.
11. All work to be in accordance with the current Traffic Regulations.
12. All work to be in accordance with the current Noise Regulations.
13. All work to be in accordance with the current Air Quality Regulations.
14. All work to be in accordance with the current Climate Change Regulations.
15. All work to be in accordance with the current Energy Regulations.
16. All work to be in accordance with the current Sustainability Regulations.
17. All work to be in accordance with the current Equality Regulations.
18. All work to be in accordance with the current Data Protection Regulations.
19. All work to be in accordance with the current Freedom of Information Regulations.
20. All work to be in accordance with the current Access to Information Regulations.

Revision Notes

Rev. No.	Description	Date
01	Issue for tender	02/11/22
02	Issue for approval	02/11/22
03	Issue for construction	02/11/22

Legend | GA Elevations

	Element Wall
	Product Cement Fibre Cladding System
	Finish Fossil
	Element Wall
	Product Flagon Red Brick
	Finish Red
	Element Roof
	Product Metal standing seam
	Finish Dark grey
	Element Façade
	Product Metal facade
	Finish Dark grey
	Element Canopy and window flashing
	Product Metal finish
	Finish Olive green



GTG-NJA-02-ZZ-DR-
A-7111
[Building]
Statutory LPA Elevation,
Proposed 02

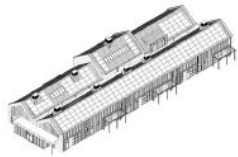
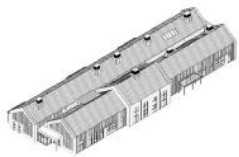
Our Lady's Primary School
Glanada, Tan y Graig

Revision: P06
Status: S1 / Approval

Project Number: NJA1075
Drawn By: CJ
Authorised By: PAF
Date: 22/07/24

[NOT JUST]
architecture

10 Millbank Street | CH1 3BQ
CHESTER | 01244 478005
www.notjustarchitecture.com







Photograph | Typical terrace housing located to the North



Photograph | View of retail units off Caernarfon Road



Photograph | Recently completed flats to the West



Photograph | View of the site from the retail units across Caernarfon Road



Character | Existing Ysgol Glanadda building prior to the arson attack