



Pwyllgor Cynllunio
Planning Committee

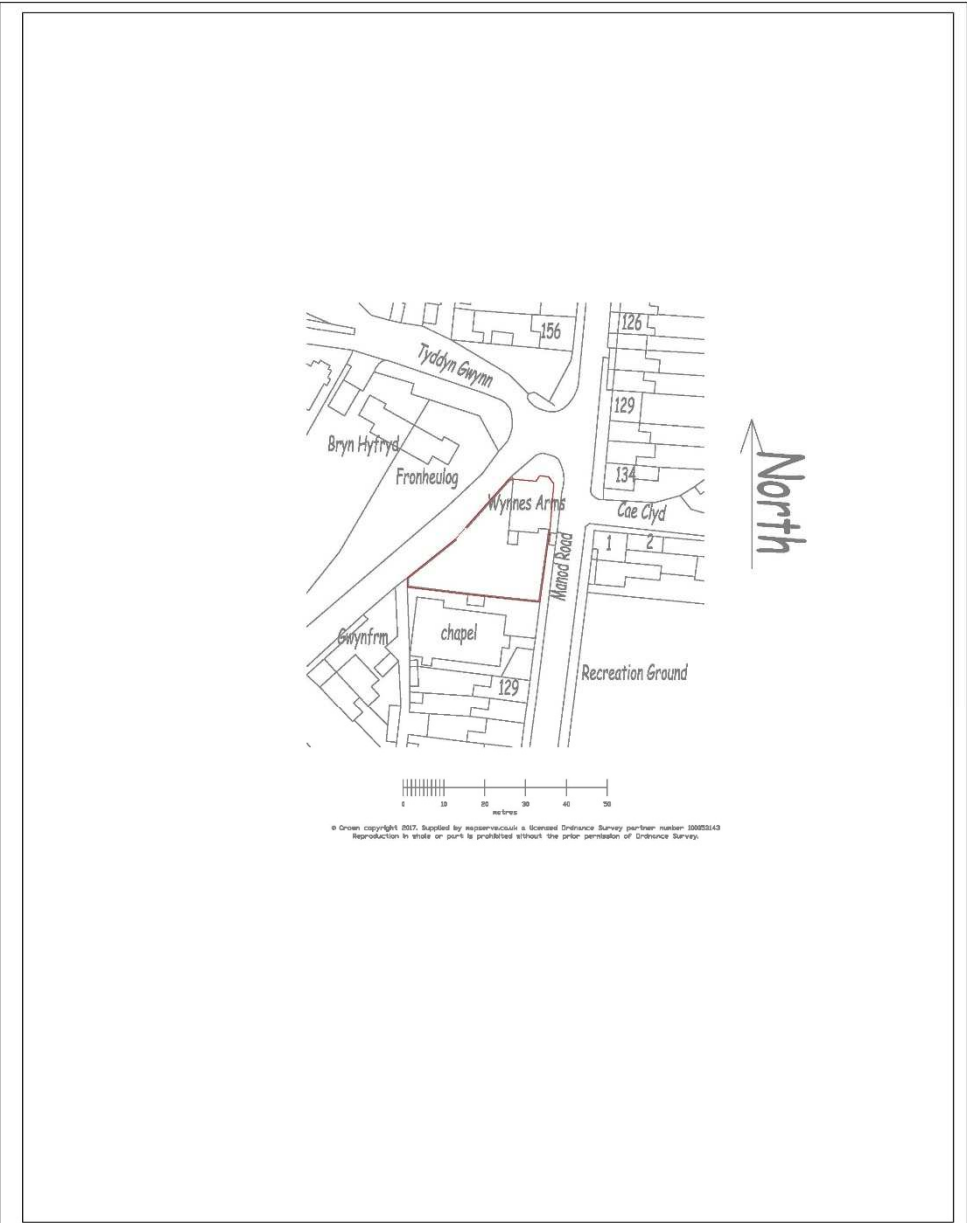
20/10/2020

C19/1028/03/LL

**Cais ar gyfer addasu tŷ tafarn yn 5 fflat ynghyd â chodi
estyniad cefn a llefydd parcio /**

***Application for the conversion of a public house to 5
flats together with rear extension and parking area***

**Wynnes Arms Hotel, Ffordd Manod, Manod, Blaenau
Ffestiniog LL41 4AR**



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	Site Wynnes Arms	
Project Name Location Plan		
Scale 1:1250		



EXISTING SITE PLAN

This drawing is the result of a planning application for the full control and use of the site. It should not be used as a construction drawing. The information shown is for reference purposes only. All dimensions should be thoroughly checked on site prior to commencement. In any instance the location of any boundary shall be confirmed and agreed with the adjacent owner. The position of the walls shall be confirmed on site. Further information given on adjacent property, all work shall be carried out in accordance with the Party Wall Act of 1996. All work shall be carried out in accordance with the British Standards Codes of Practice, B.M.B. Control regulations and respective national codes of practice. It is the client's responsibility to ensure that any structural design is thoroughly checked and verified by a structural engineer.



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As To:
 PROPOSED CHANGE OF USE FROM A3 TO C3
 OF THE WYNNES ARMS, MANOD ROAD
 BLAENAU FFESTINIOG,
 GWYNEDD,
 LL41 4AR

Date of Issue:
 EXISTING SITE PLANS

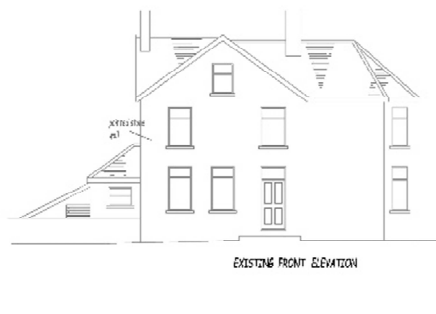
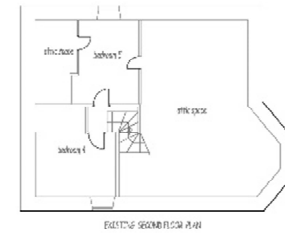
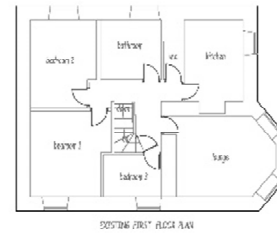
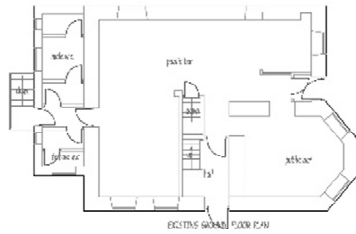
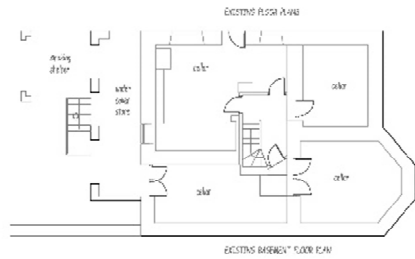
Scale:
 1:200 @ A1
 Date:
 03/06/2019

Author:
 JDM

Drawing Number:
 1831018

Rev:

This is not a contract and is only a guide to the information shown. It is not intended to be used as a contract. It is the client's responsibility to ensure that any structural design is thoroughly checked and verified by a structural engineer.



This drawing has been prepared by the author for the purposes of the application for planning permission. It is not to be used for any other purpose without the written consent of the author. The information shown is for reference purposes only. All dimensions should be thoroughly checked on site prior to construction. In any matter the location of any boundary shall be confirmed and agreed with the adjacent owner's application. No part of the works shall be carried out until a complete planning permission has been granted. All work shall be carried out in accordance with the Party Wall Act of 1996. All work shall be carried out in accordance with the British Standards Codes of Practice B.S. 8102. Certain regulations may apply to the location of the work. It is the client's responsibility to ensure that any work is carried out in accordance with the relevant regulations and to obtain the necessary permissions.

JT design consultancy

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0 01

PROPOSED CHANGE OF USE FROM A3 TO C3
OF THE WYNNES ARMS, MANOD ROAD
BLAENAU FFESTINIÓS,
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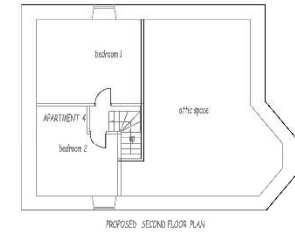
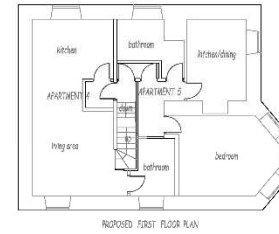
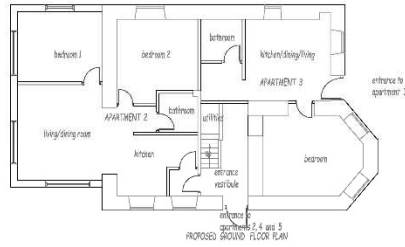
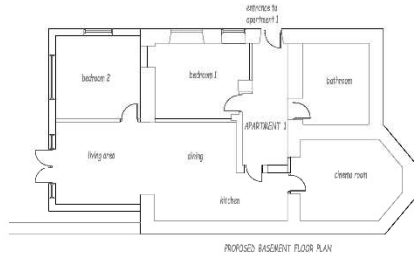
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EXISTING FLOOR PLANS AND ELEVATIONS

Scale: 1:100 @ A1
Date: OCTOBER 2012
Drawn by: JAK
Checked by: JAK

1811019

Cynllun Diwygiedig Amended Plan



This drawing forms part of a planning application/building control application and should not be used as a construction drawing. The information shown is for reference purposes only. All dimensions should be thoroughly checked on site prior to commencement. In any instance the location of any boundary shall be confirmed and agreed with the adjacent owner if applicable. No part of the works shall be constructed so that it affects a trespass upon an adjacent property. All work shall be carried out in accordance with the Party Wall Act of 1996. All work shall be carried out in strict accordance with the British Standard Codes of Practice, Building Control requirements and respective manufacturers instructions. It is the clients responsibility to ensure that any structural design is thoroughly checked and verified by a structural engineer.

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Job Title
**PROPOSED CHANGE OF USE FROM A3 TO C3
OF THE WYNNES ARMS, MANOD ROAD
BLAENAU FFESTINIOG,
GWYNEDD,
LL41 4AR**

Drawing Title
PROPOSED FLOOR PLANS AND ELEVATIONS

Scale
1:100 @ A1

Date
OCTOBER 2019

Drawn by
AW

Drawing Number
1821019

Rev
A

**Cynllun Diwygiedig
Amended Plan**



access widened to 5m and wall height reduced to maximum 800mm high

5300
bin store
bike racks

Wynnes Arms Apartments

patio

lawn

parking area

chapel

PROPOSED SITE PLAN

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Client:

Job No
PROPOSED CHANGE OF USE FROM A3 TO C3
OF THE WYNNES ARMS, MANOD ROAD
BLAENAU FFESTINIOG,
GWYNEDD,
LL41 4AR

Drawing Title
PROPOSED SITE PLANS

Scale
1:200 @ A1

Date
OCTOBER 21st 9

Drawn By
AW

Drawing Number 1841019	Rev A
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Rev A) - Dec 19 - excavation increased in width, car park entrance increased in width and boundary wall to car park entrance reduced in height
This is not a construction drawing and the client and contractor are to verify themselves of all information and dimensions before commencing work. Do not scale from this drawing.



















