



Pwyllgor Cynllunio
Planning Committee

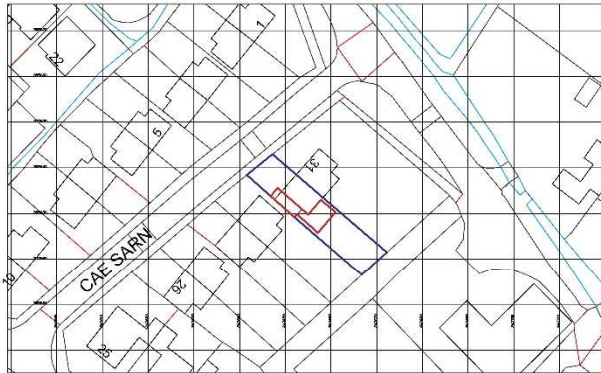
24/09/2020

C20/0324/17/DT

**Estyniad blaen, ochr a cefn.
Front, side and rear extension.**

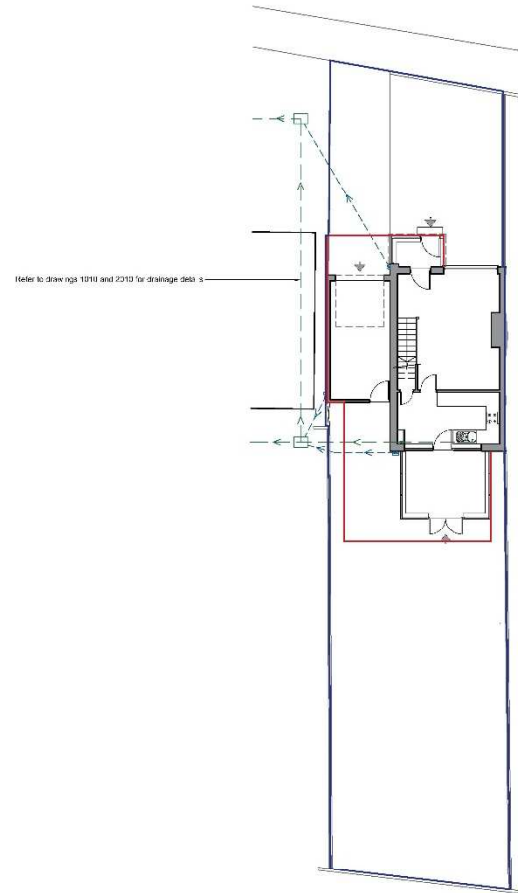
**Y Borth, 30 Cae Sarn, Y Groeslon, Caernarfon,
Gwynedd, LL54 7TW**

KEY
 — Ownership Boundary
 — Development Area



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Site Location Plan
 Scale: 1:500 @ A1 & 1:1000 @ A3



Site Plan
 As Existing
 Scale: 1:100 @ A1 & 1:200 @ A3




0 1 2 5
 Scale 1:100
 m

- NOTES
1. This design and drawing is to be read in conjunction with and all the details of the accompanying set.
 2. Where a drawing other than that of site plan is used, the drawing must be plotted in colour.
 3. For other than site plan drawings, all dimensions must be checked on site by the contractor, multiple for all materials unless otherwise stated.
 4. Construction Method, site notices, etc. in all notices.
 5. A reference on this drawing is to be read in conjunction with the relevant section of the Planning Permission.
 6. All other, OHP's, regulations and other notices are information for applicants.
 7. It is the responsibility of the contractor to ensure that all the work is done in accordance with the relevant regulations for which it is responsible.
 8. All other, OHP's, regulations and other notices are information for applicants.
 9. Please check OHP's on site and immediately report any work which is in breach of the regulations to the relevant authority.

- Drawing Status
- F: Finalised
 - S: Plans/Design
 - P: Planning
 - D: Building Consent
 - Q: Quotations/Design
 - M: Measurement
 - T: Texts
 - C: Construction
 - R: Record

Rev Date Des ACJ Revision

9 13/03/23 GRS J-GR issued to site and LPA for planning.
 Rev Date Des ACJ Revision



Mr & Mrs Williams - 30 Cae Sarn, Groeslon

Site Location Plan &
 Site Plan As Existing

Qwynys Llanioghen
 Cwynydd, LL48 6LZ
 gethin@roberts.com
 ARB Registration No: 087700

No.	TDD.01	No.	1000
Scale (A1)	1:500 & 100	Status	P
Revision		Version	0

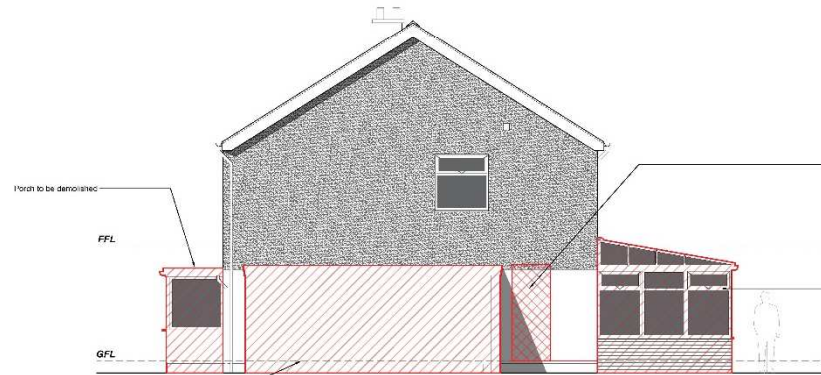


Front Elevation
As Existing
Scale: 1:50 @ A1 & 1:100 @ A3

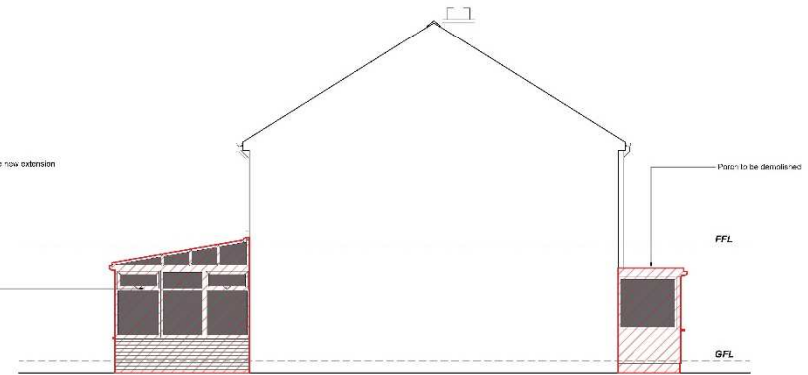


Rear Elevation
As Existing
Scale: 1:50 @ A1 & 1:100 @ A3

- KEY
- Areas to be demolished
 - Areas to be altered
 - Existing walls
 - New walls
 - Outline of demolished structure/extension
 - Final drainage
 - Rainwater and surface water drainage



Side Elevation (South-West)
As Existing
Scale: 1:50 @ A1 & 1:100 @ A3



Side Elevation (North-East)
As Existing
Scale: 1:50 @ A1 & 1:100 @ A3



- Notes
1. This does not constitute a structural connection with any of the existing structure.
 2. Where indicated the floor, ceiling or any other floor/ceiling is to be replaced in situ.
 3. The main structure shall be constructed in brickwork to be finished in white Portland cement rendering.
 4. All new work shall be constructed in accordance with the relevant Building Regulations.
 5. All information on this drawing is to be read in conjunction with the relevant Section Reports/Particulars.
 6. In the event of any discrepancy, the most recent shall prevail.
 7. The existing drainage and water systems shall be used where possible for the purposes of water supply and drainage.
 8. There are no reserved dimensions indicated for furniture or fixtures etc. If this is required, please refer to the relevant section reports.
 9. Please note: All work shall be completed by any time shown on drawings to be in accordance with the relevant Building Regulations.

Drawing Status	Revision	Date	By	Check	Remarks
P - Finality					
S - Sketch Design					
P - Planning					
B - Building Control					
D - Landscape Design					
M - Measurements					
T - Trace					
C - Construction					
R - Record					

Rev	Date	By	Check	Remarks
2	24-04-23	SR	SR	North-East Elevation added
1	19-03-23	SR	SR	Annotations added, issued for sale and LPA for Planning.
0	14-03-23	SR	SR	Issued for Client comment

gethinroberts 
 Mr & Mrs Williams - 30 Cae Sam, Gwrosion

Project: TDD.01 No: 1200
 Scale (A1): 1:50 Status: P Revision: 2

Cwynya Llanfothen
 Cwynned, LL48 6LJ
 gorth111@icloud.com
 ARB Registration No: 0877001

NOTES

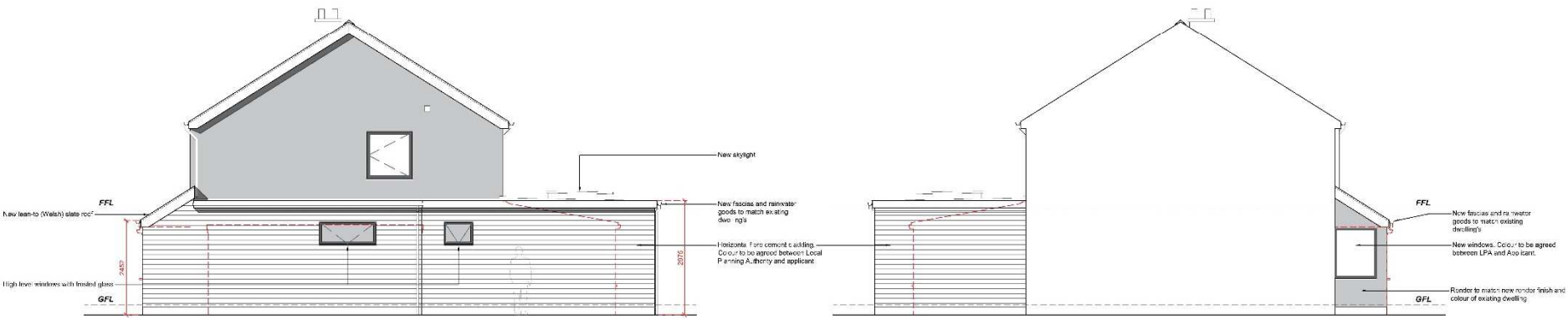
New dark grey UPVC windows to be installed to existing dwelling to match new extension windows. Exact FFL colour to be agreed between LPA and Applicant. All new first floor windows to conform to Building Regulations means of escape (eg. open windows).

Existing double glazing to be removed and replaced with new light woodgrain finish (Pine) or similar with smooth finish. Colour to be agreed between LPA and Applicant.

All existing fascias and rainwater goods to be replaced with new dark coloured UPVC. Colour to be agreed between LPA and Applicant.

KEY

- Outline of demolished structure/extension
- Gull drainage
- Rainwater and surface water drainage



Notes	Revised	By	Date	Reason
1. This document is for the use of the contractor with and at the discretion of the contractor only.				
2. Where a date is given, it is the date of issue of this document. It is the responsibility of the contractor to ensure that the latest version of this document is used.				
3. The drawings are the property of Gethin Roberts Architects and shall remain their property. No part of these drawings may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Gethin Roberts Architects.				
4. All information on this drawing is to be read in conjunction with the relevant Section - Section Package available on the drawings and the contract documents and drawings and specifications.				
5. In the event of any discrepancy, the contract documents shall prevail.				
6. The drawings are issued for the contractor's use only and shall not be used for any other purpose without the prior written permission of Gethin Roberts Architects.				
7. There are no implied warranties, express or implied, in these drawings. The contractor shall be responsible for any errors, omissions, or omissions in the drawings. The contractor shall be responsible for any errors, omissions, or omissions in the drawings.				
8. These drawings are issued for the contractor's use only and shall not be used for any other purpose without the prior written permission of Gethin Roberts Architects.				

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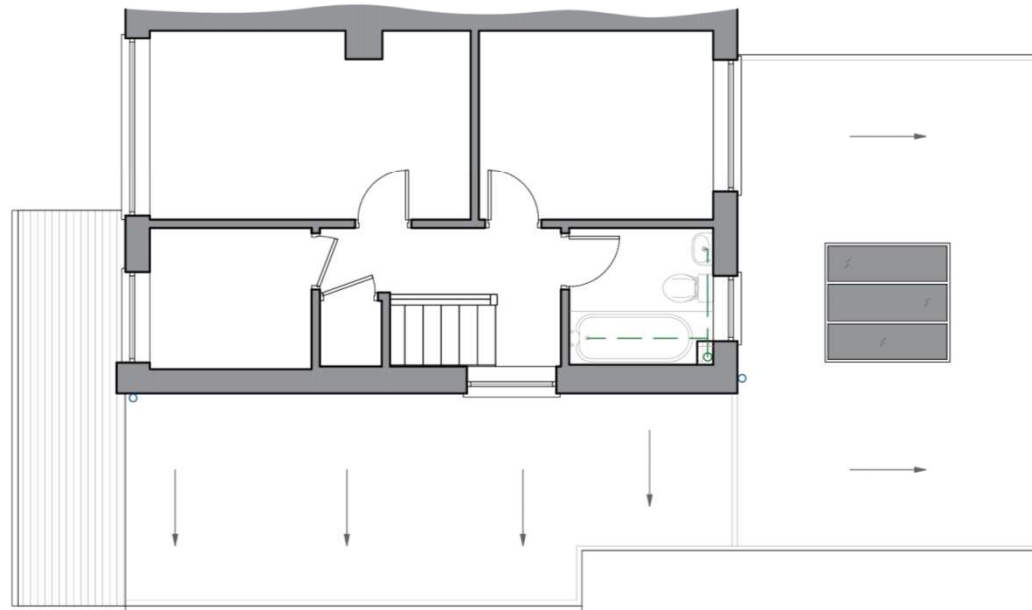
Mr & Mrs Williams - 30 Cae Sam, Greslon

Project: TDD.01 No: 2200

Elevations As Proposed

Scale (A1): 1:50 Status: P Revision: 3

Cwmyn Llaniethon, Cymuned Llanllanalltud, gŵyl 11moch@gmail.com, ARS Registration No: 0877001



First Floor Plan
As Proposed
Scale - 1:50 @ A3



- Notes:**
1. Any long formal drawing is to be read in conjunction with and at the scale of the accompanying title sheet.
 2. Where a section is shown in black or grey are used, the drawing shall be printed in colour.
 3. The client is responsible for ensuring all dimensions are to the finished work by the contractor, subject to the Local Authority's requirements.
 4. Where dimensions are given in brackets, they are in millimeters.
 5. All information on this drawing is to be read in conjunction with the relevant Gethin Roberts Planner Architect (GROPA) specification and any additional drawings and specifications by separate sheets.
 6. The client is responsible for ensuring all dimensions are to the finished work.
 7. This drawing may contain survey information by others and is to be used solely for the purposes for which it was made.
 8. These are uncontrolled documents issued for information purposes only. If you have any queries regarding the drawings, please contact GROPA immediately.
 9. Gethin Roberts Architects is not responsible for any errors arising from changes made to an uncontrolled copy file.

Rev	Date	Drawn	Auth	Reason
1	15-03-20	GWR	GWR	Reduction in door raised into Porch. Annotations added. Issued to SE and LPA for Planning.
2	14-03-20	GWR	GWR	Issued for Client comment.

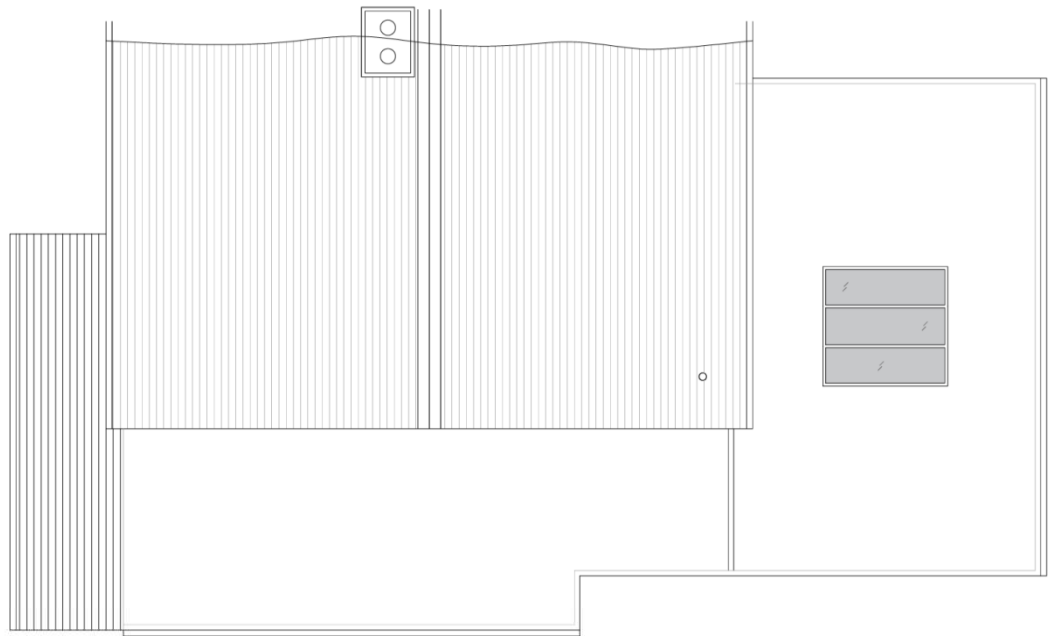
gethinroberts **g**

Mr & Mrs Williams - 30 Cae Sam, Groeslon

Project: **TDD.01** No: **2011**

Scale (1/5): **1:50** Status: **P** Revision: **1**

Gwynn, Llanfihban
Gwynedd, LL48 8LJ
gethinroberts@gmail.com
ARB Registration No: 0877099



Roof Plan
As Proposed
Scale - 1:50 @ A3



- Notes**
1. Any hatched drawing is to be roof in conjunction with and at the scale of the accompanying cut.
 2. Where notes other than black or grey are used, the drawing must be plotted in colour.
 3. For class 'C' construction drawings all dimensions are to be checked on site by the contractor, making a list of Local Authority purposes only.
 4. Where dimensions, materials, or dimensions are in italics, they are to be used in conjunction with the relevant British Standards Partwork Agreement (BSPA) specification and trade connection drawings and information by specialist.
 5. All construction on the drawing is to be read in conjunction with the relevant British Standards Partwork Agreement in the event of any discrepancy, please contact us immediately.
 6. This drawing may contain survey information by others and is to be used solely for the purposes for which it was created.
 7. This drawing is not intended to be used for information purposes only. If you have any queries regarding the drawings, please contact GPR/A immediately.
 8. Please note GPR/A cannot be held responsible for any errors arising from changes made to an uncontrolled copy file.

Rev	Date	Drawn	Auth	Revised
1	15-03-20	GPR/A	GPR/A	Bedroom 4 door moved into Porch. Annotations added. Issued to SE and LPA for Planning
2	14-07-20	GPR/A	GPR/A	Issued for Client comment
Rev	Date	Drawn	Auth	Revised

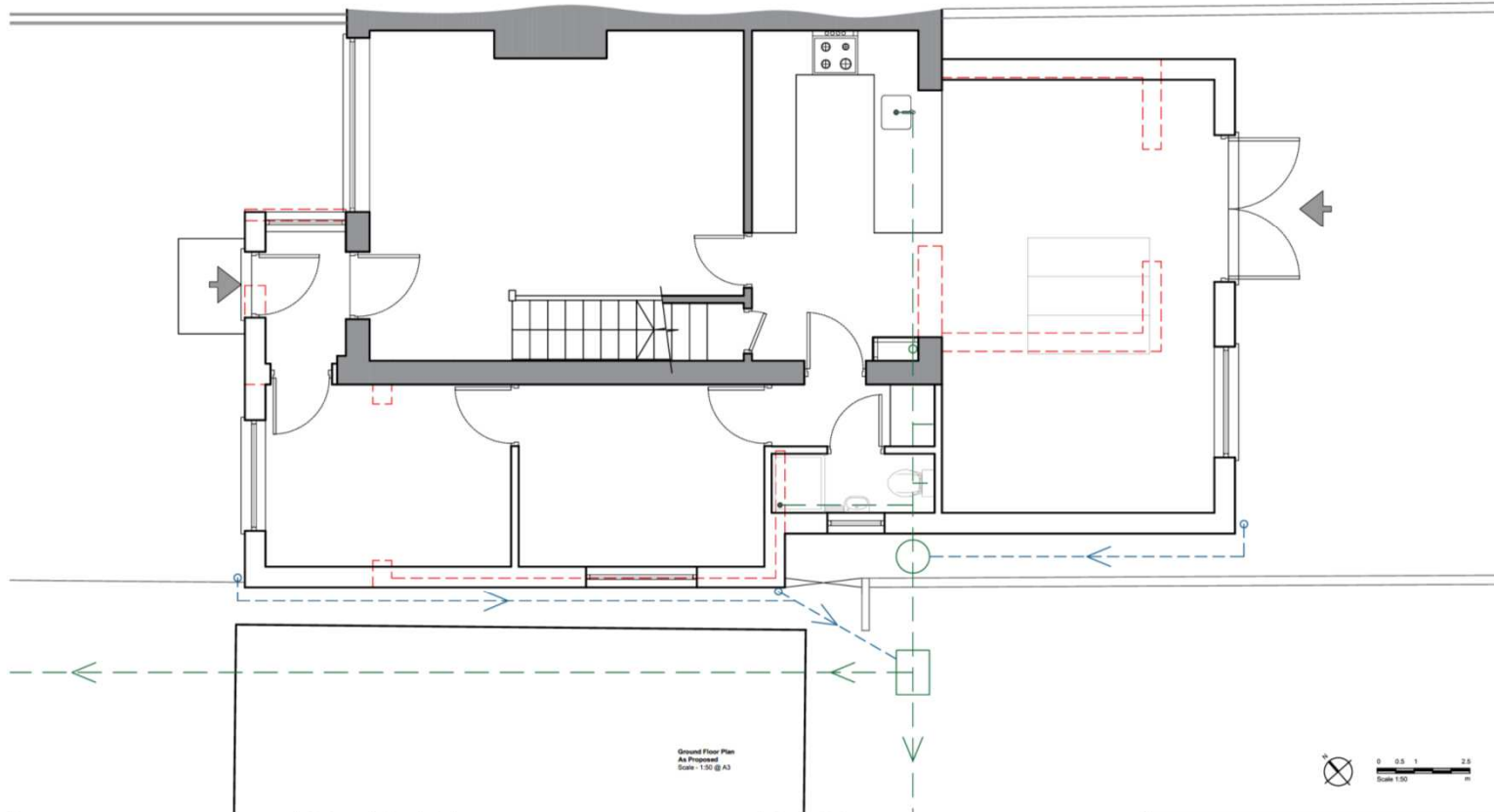
gethinroberts
planning / building

g

Mr & Mrs Williams - 30 Cae Sarn, Groeslon

Gwynn, Llantrihon
Gwynedd, LL46 6LJ
gethinroberts@gmail.com
ARB Registration No: 0877056

Project	TDD.01	No	2012
Scale	1:50	Block	P
		Revision	1



Ground Floor Plan
As Proposed
Scale - 1:50 @ A3

- Notes**
1. Only this formal drawing is to be used in conjunction with any of the scales of the accompanying set.
 2. Where necessary other than this set any detail the drawing must be printed in colour.
 3. The scope of Construction drawings of drawings are to be checked on site by the contractor, leading to the Local Authority approval only.
 4. Unless otherwise indicated, all dimensions are in millimetres.
 5. All dimensions on this drawing to be taken in conjunction with the relevant Building Regulations Particular Architectural (BIPA) specification and take into account drawings and information by specialist.
 6. In the event of any discrepancy, please contact us immediately.
 7. This drawing may contain survey information by others and is to be used solely for the purposes for which it was issued.
 8. Where any dimensional discrepancy is noted by administration personnel only, if you have any queries regarding the drawings, please contact GWRP immediately.
 9. Where any GWRP cannot be held responsible for any errors arising from changes made to an unapproved copy file.

Drawing Status

F	Finality
S	Sketch Design
P	Planning
B	Building Control
D	Developed Design
M	Measurement
T	Tender
C	Construction
R	Record

No.	Date	Drawn	Auth.	Revision
1	14-03-20	GWR	GWR	Redesign of door raised into Porch. Annotations added. Issued to BE and LPA for Planning.
2	14-03-20	GWR	GWR	Issued for Client comment.

No.	Date	Drawn	Auth.	Revision
1	14-03-20	GWR	GWR	Redesign of door raised into Porch. Annotations added. Issued to BE and LPA for Planning.
2	14-03-20	GWR	GWR	Issued for Client comment.

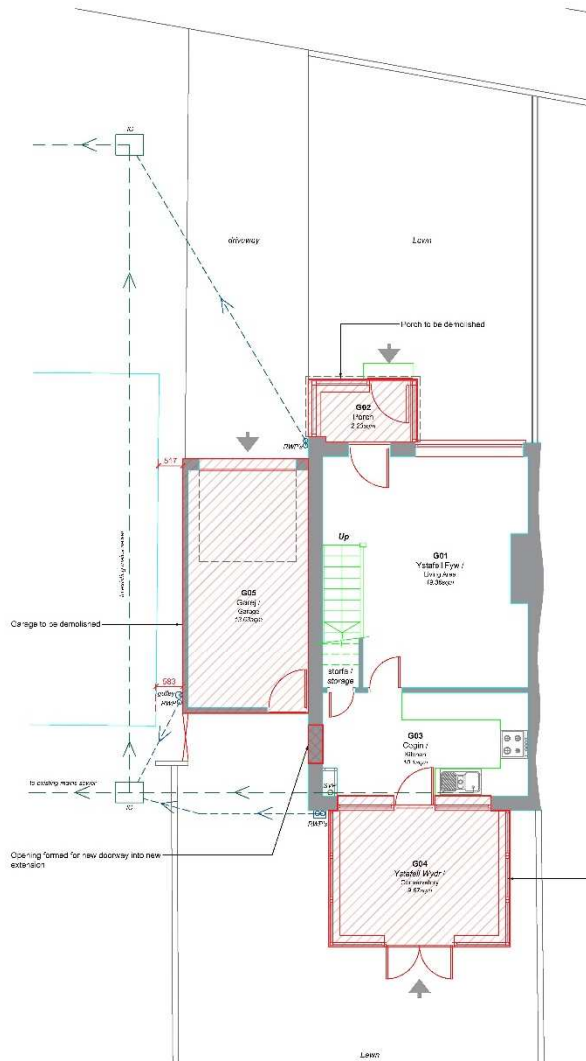
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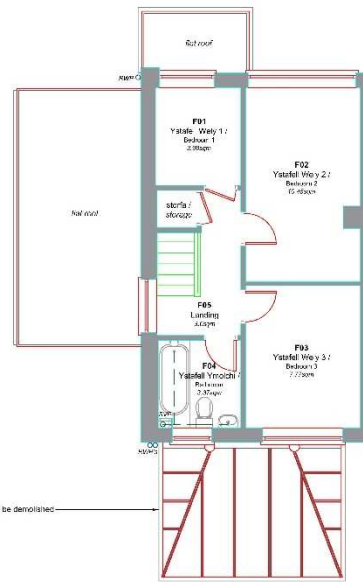
Project: TDD.01
Scale: 1:50

Rev: 2010
Date: P
Page: 1

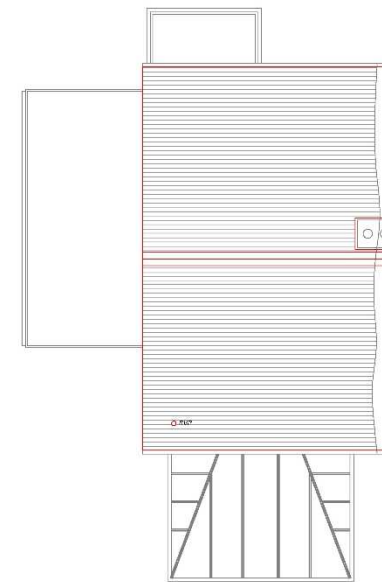
Gwynn, Llanbaban
Gwynedd, LL48 8LJ
gethinroberts@gmail.com
A/ID Registration No: 087705



**Ground Floor Plan
As Existing**
Scale: 1:50 @ A1 & 1:100 @ A3
Floor area (including Storage) = 54.96sq.m



**First Floor Plan
As Existing**
Scale: 1:50 @ A1 & 1:100 @ A3
Floor area = 58.77sq.m



**Roof Plan
As Existing**
Scale: 1:50 @ A1 & 1:100 @ A3

- KEY**
- Areas to be demolished
 - Areas to be retained
 - Existing walls
 - New walls
 - Outline of demolished structure/extension
 - Foul drainage
 - Rainwater and surface water drainage



- Notes**
1. This does not include any work to be done in connection with any of the scope of the accompanying job.
 2. Where indicated on the floor plan, any area that is to be demolished is shown in red.
 3. The area of the floor plan shown in green is to be retained in its existing condition, including any structure, furniture, fixtures, etc.
 4. Areas shown in blue hatched are to be demolished and replaced with new walls.
 5. All information on this drawing is to be read in conjunction with the relevant Section - Section Plans & Details - (DPP) and the relevant sections of the contract documents.
 6. In the event of any discrepancy, the contract documents shall prevail.
 7. The drawing is to be used for the purpose of providing information only. It is not intended to be used for any other purpose.
 8. There are no implied warranties, express or implied, in this drawing.
 9. The drawing is to be used for the purpose of providing information only. It is not intended to be used for any other purpose.
 10. The drawing is to be used for the purpose of providing information only. It is not intended to be used for any other purpose.

- Drawing Status**
- P - Finality
 - S - Sketch design
 - B - Planning
 - P - Building Control
 - D - Landscape design
 - M - Measurement
 - T - Text
 - C - Construction
 - R - Record

Rev	Date	By	Check	Remarks
1	15-03-20	GR	SR	Revised drawing issued to client for comment
2	15-03-20	GR	SR	Revised drawing issued to client for comment
3	15-03-20	GR	SR	Revised drawing issued to client for comment
4	15-03-20	GR	SR	Revised drawing issued to client for comment
5	15-03-20	GR	SR	Revised drawing issued to client for comment
6	15-03-20	GR	SR	Revised drawing issued to client for comment
7	15-03-20	GR	SR	Revised drawing issued to client for comment
8	15-03-20	GR	SR	Revised drawing issued to client for comment
9	15-03-20	GR	SR	Revised drawing issued to client for comment
10	15-03-20	GR	SR	Revised drawing issued to client for comment

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Mr & Mrs Williams - 30 Cae Sam, Groslen

Project: **TDD.01** No: **1010**

Scale (A1): **1:50** Status: **P** Revision: **2**

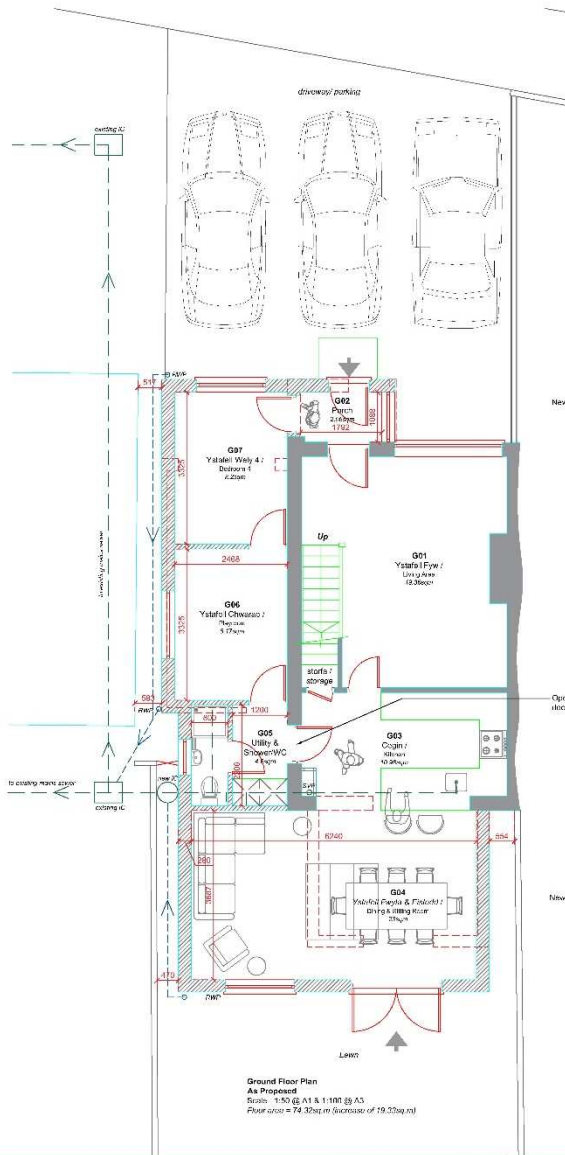
Project: **TDD.01** No: **1010**

Scale (A1): **1:50** Status: **P** Revision: **2**

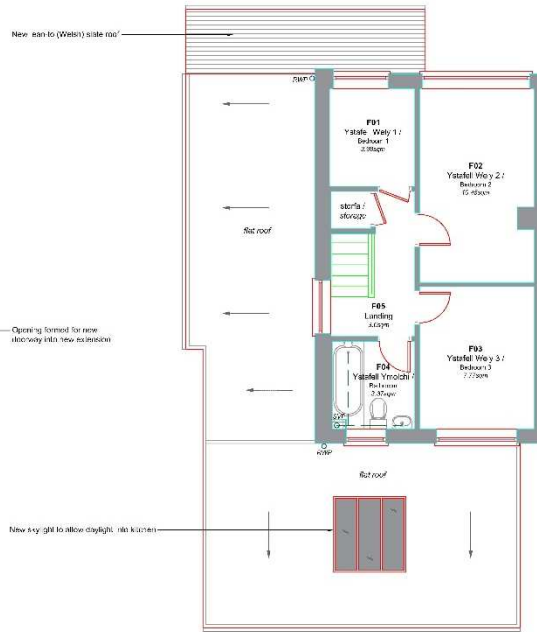
Mr & Mrs Williams - 30 Cae Sam, Groslen

Project: **TDD.01** No: **1010**

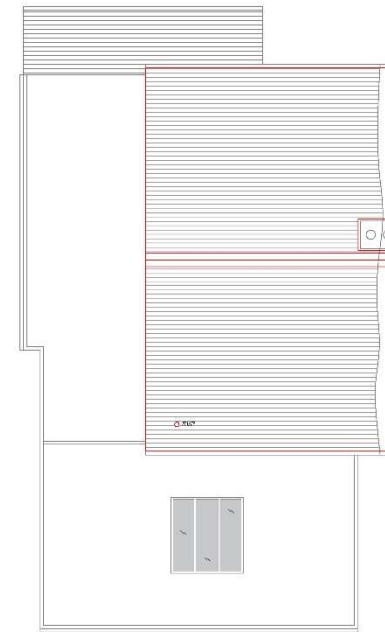
Scale (A1): **1:50** Status: **P** Revision: **2**



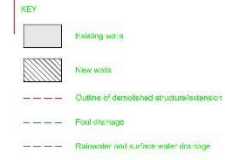
**Ground Floor Plan
As Proposed**
Scale: 1:50 @ A1 & 1:100 @ A3
Floor area = 74.52sqm (decrease of 19.52sqm)



**First Floor Plan
As Proposed**
Scale: 1:50 @ A1 & 1:100 @ A3
Floor area = 68.77sqm



**Roof Plan
As Proposed**
Scale: 1:50 @ A1 & 1:100 @ A3



- Notes**
1. This does not include any structural work or any other work of the secondary structure.
 2. Where shown on the floor plan, any work to be done is to be done in accordance with the relevant building regulations.
 3. All work to be done is to be done in accordance with the relevant building regulations.
 4. All work to be done is to be done in accordance with the relevant building regulations.
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Drawing Status	Date	By	Check	Remarks
P - Finality				
S - Sketch design				
B - Planning				
Building Control				
Approved				
M - Measurement				
T - Trace				
C - Construction				
R - Record				

gethinroberts
gethin@gethinroberts.com

Mr & Mrs Williams - 30 Cae Sam, Gresion

**Floor Plans & Roof Plan
As Proposed**

Project: **TDD.01** No: **2010**
Scale: **1:50** Status: **P** Revision: **2**

Cwynna Llanfrothen
Cwynnedd, LL18 9LJ
geth@gethinroberts.com
ARB Registration No: 0877001









