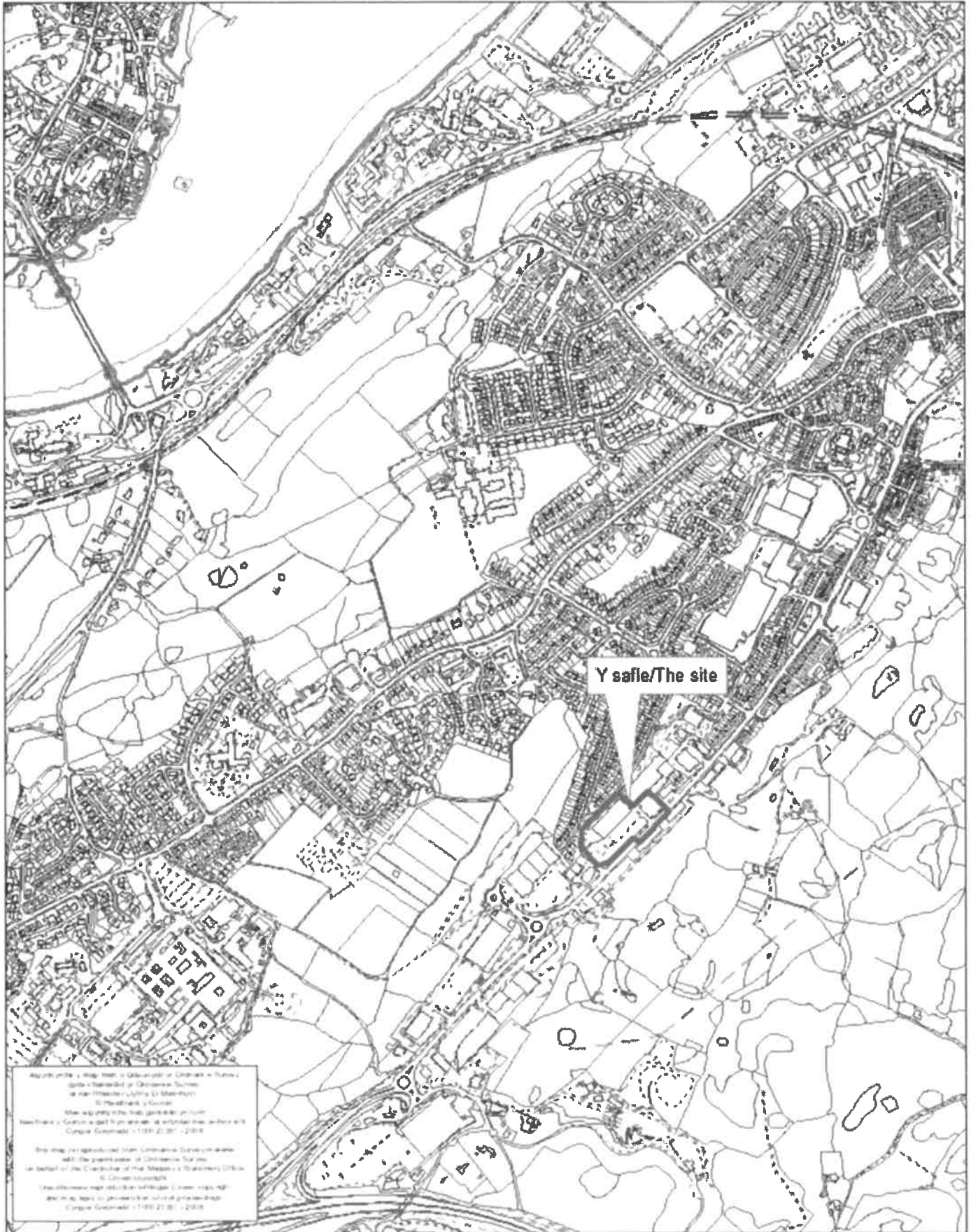
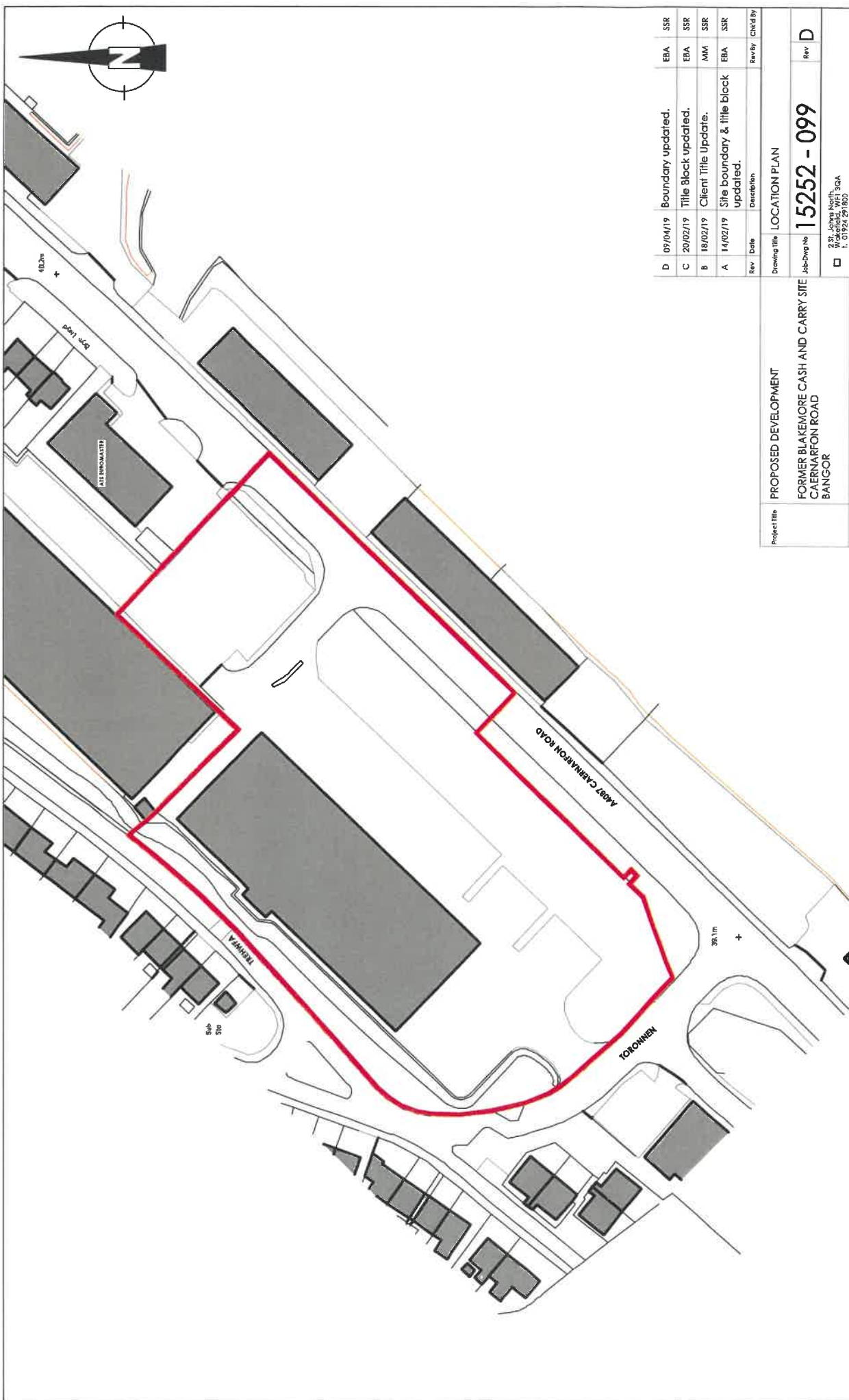




Rhif y Cais / Application Number : C19/0398/11/LL

Cynllun lleoliad ar gyfer adnabod y safle yn unig. Dim i raddfa.
Location Plan for identification purposes only. Not to scale.





Location Plan - 1:1250 scale



Site Area =
12,530sqm / 3.10 acre

This drawing is copyright and may not be reproduced in whole or part without written authority. Do not scale off this drawing.

Rev	Date	Description	Rev By	Check'd By
D	09/04/19	Boundary updated.	EBA	SSR
C	20/02/19	Title Block updated.	EBA	SSR
B	18/02/19	Client Title Update.	MM	SSR
A	14/02/19	Site boundary & title block updated.	EBA	SSR

Project Title	Proposed Development
FORMER BLAKEMORE CASH AND CARRY SITE CAERNARFON ROAD BANGOR	
Client	BAMPTON PROPERTY GROUP
Status	PLANNING
Scale	1:1250
Date	JAN 19
	Drawn by: SSR
	Checked by: SSR

Job-Dwg No 15252 - 099

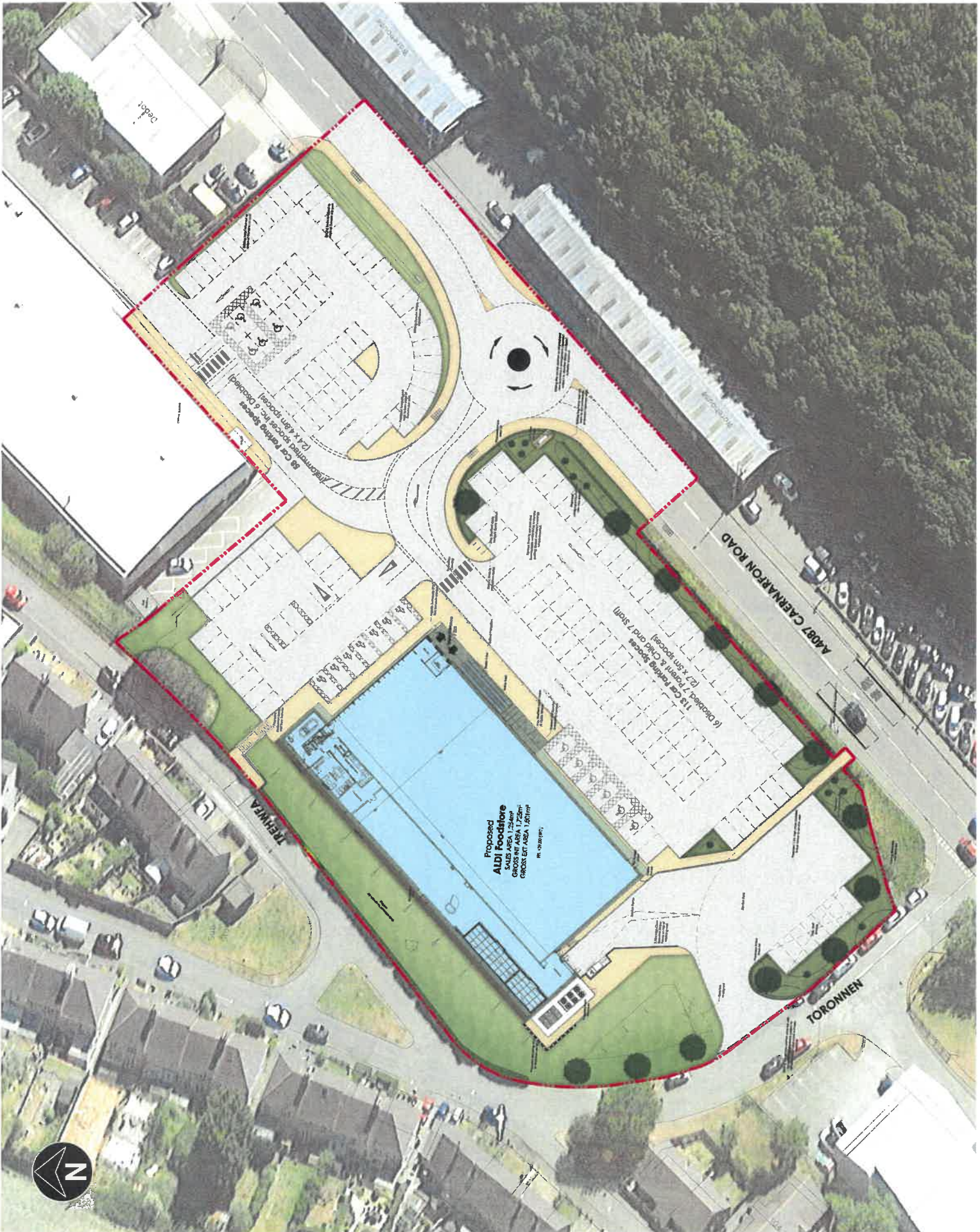
2 St. Johns North, Wakefield, WF1 3GA
 T. 01924 291800
 Carvers Warehouse, 77 Dale Street, Liverpool, L2 2HG
 T. 0161 2288553
 The Old Rectory, 79 High Street, Newport Pagnell, MK16 5AB
 T. 01908 21577
 10 London Road, London, W1U 1JJ
 T. 0118 9207263
 10 Gates Court, 51 Cheltenham Place, London, W1U 1JJ
 T. 0207 4891215

THE HARRIS PARTNERSHIP
ARCHITECTS
www.harrispartnership.com

**Proposed Development
Caernarfon Road
Bangor**

Client: Bangor Property Group
 Date: 28/07/2015
 Scale: 1:1000 (1:1000) - Proposed Site Plan
 Scale: 1:2000 (A0)

THE HARRIS PARTNERSHIP
 ARCHITECTS
 216, 218, 220, 222, 224
 TORONNEN ROAD
 BANGOR, LL57 2DQ
 TEL: 01248 504444
 WWW.HARRISPARTNERSHIP.CO.UK

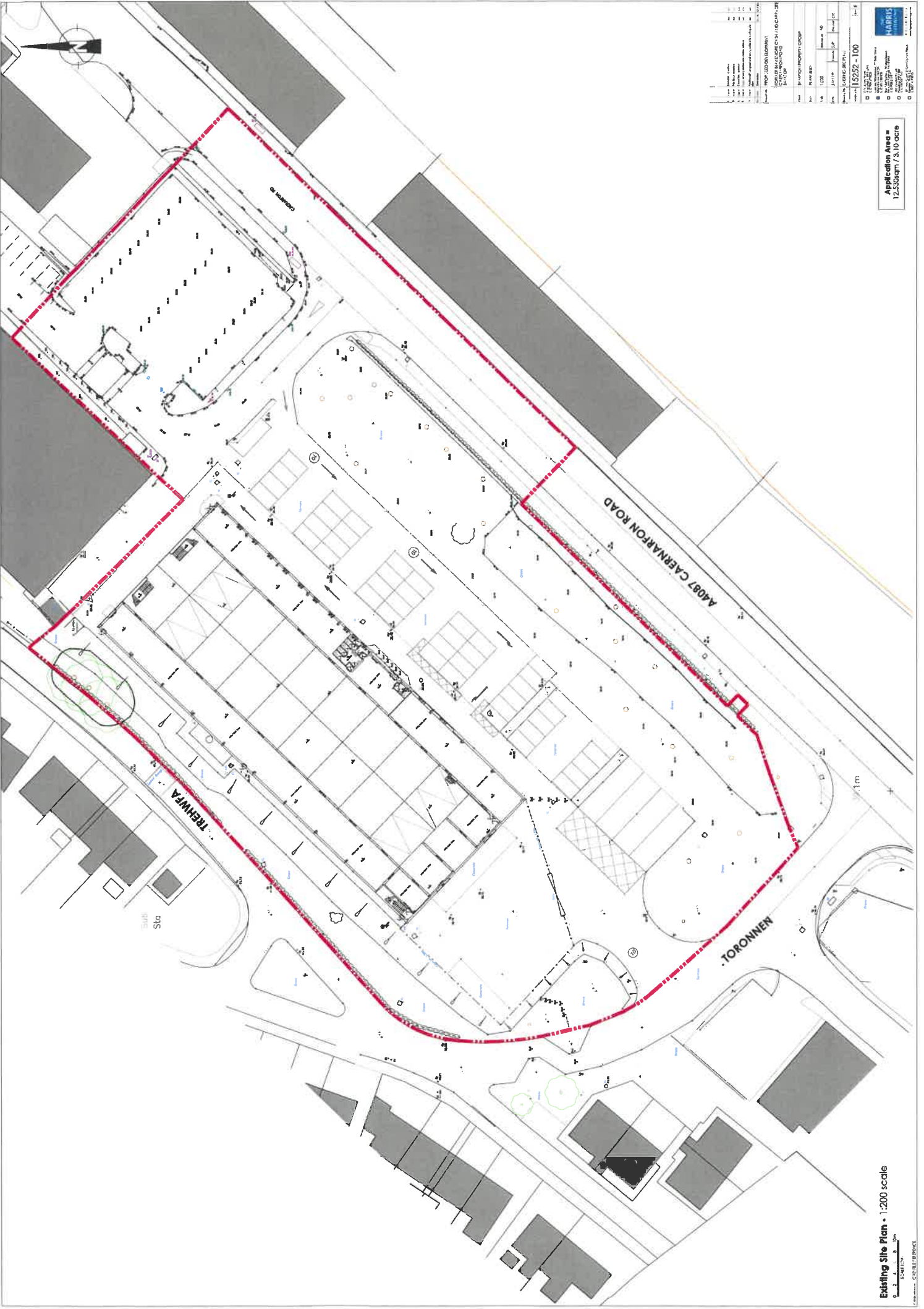


**Proposed
ALDI Foodstore**
 SALES AREA 11,725m²
 GROSS LET AREA 1,601m²
 (0.32 acres)

TORONNEN

4087 CAERNARFON ROAD





PROJECT INFORMATION	
Project Name	4007 CAERNARFON ROAD
Client	WARRIS
Project No.	15252 - 100
Scale	1:6
Date	15/05/2015
Drawn by	WARRIS
Checked by	WARRIS
Approved by	WARRIS

Application Area =
12,550sqm / 3.10 acre

Existing Site Plan • 1:200 scale



Proposed
ALDI Foodstore
 SALES AREA 1,250m²
 GROSS INT AREA 1,750m²
 GROSS EXT AREA 1,800m²

28 Car Parking Spaces
 (12 x 4.5m spaces, 16 x 5.0m spaces)
 1600mm x 4.5m spaces, 1600mm x 5.0m spaces

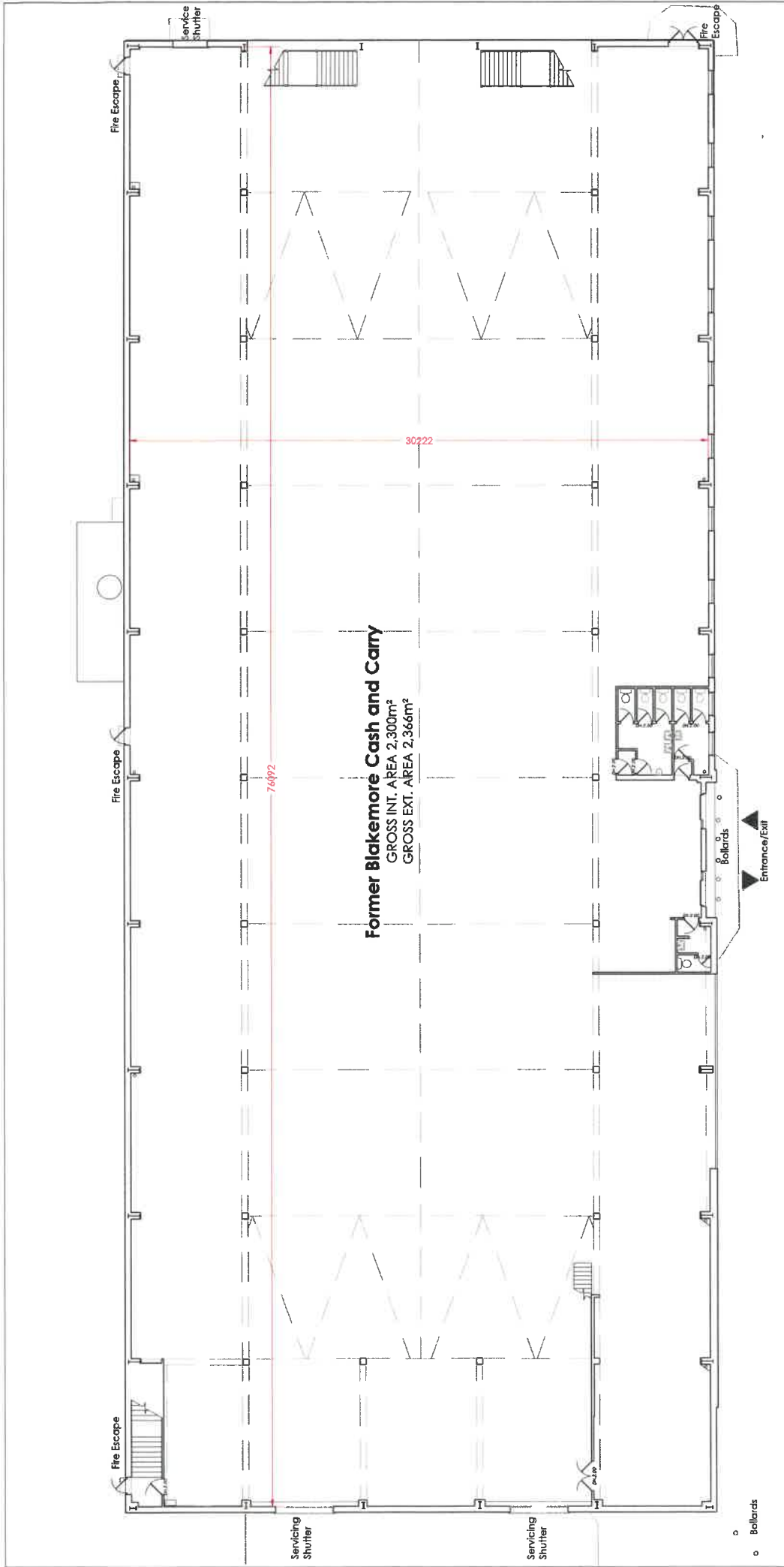
13 Car Loading Spaces
 (2 x 4.5m spaces)
 (6 Disabled, 7 Normal & Child and 7 50kg)

Please note Proposed Levels taken from engineering drawing. All heights are in metres above Proposed Levels (2007/02/24)

Application Area =
 12,550sqm / 3,10 acres

Rev	Description	Date
1	Issue for Information	15/03/20
2	Issue for Information	15/03/20
3	Issue for Information	15/03/20
4	Issue for Information	15/03/20
5	Issue for Information	15/03/20
6	Issue for Information	15/03/20
7	Issue for Information	15/03/20
8	Issue for Information	15/03/20
9	Issue for Information	15/03/20
10	Issue for Information	15/03/20
11	Issue for Information	15/03/20
12	Issue for Information	15/03/20
13	Issue for Information	15/03/20
14	Issue for Information	15/03/20
15	Issue for Information	15/03/20
16	Issue for Information	15/03/20
17	Issue for Information	15/03/20
18	Issue for Information	15/03/20
19	Issue for Information	15/03/20
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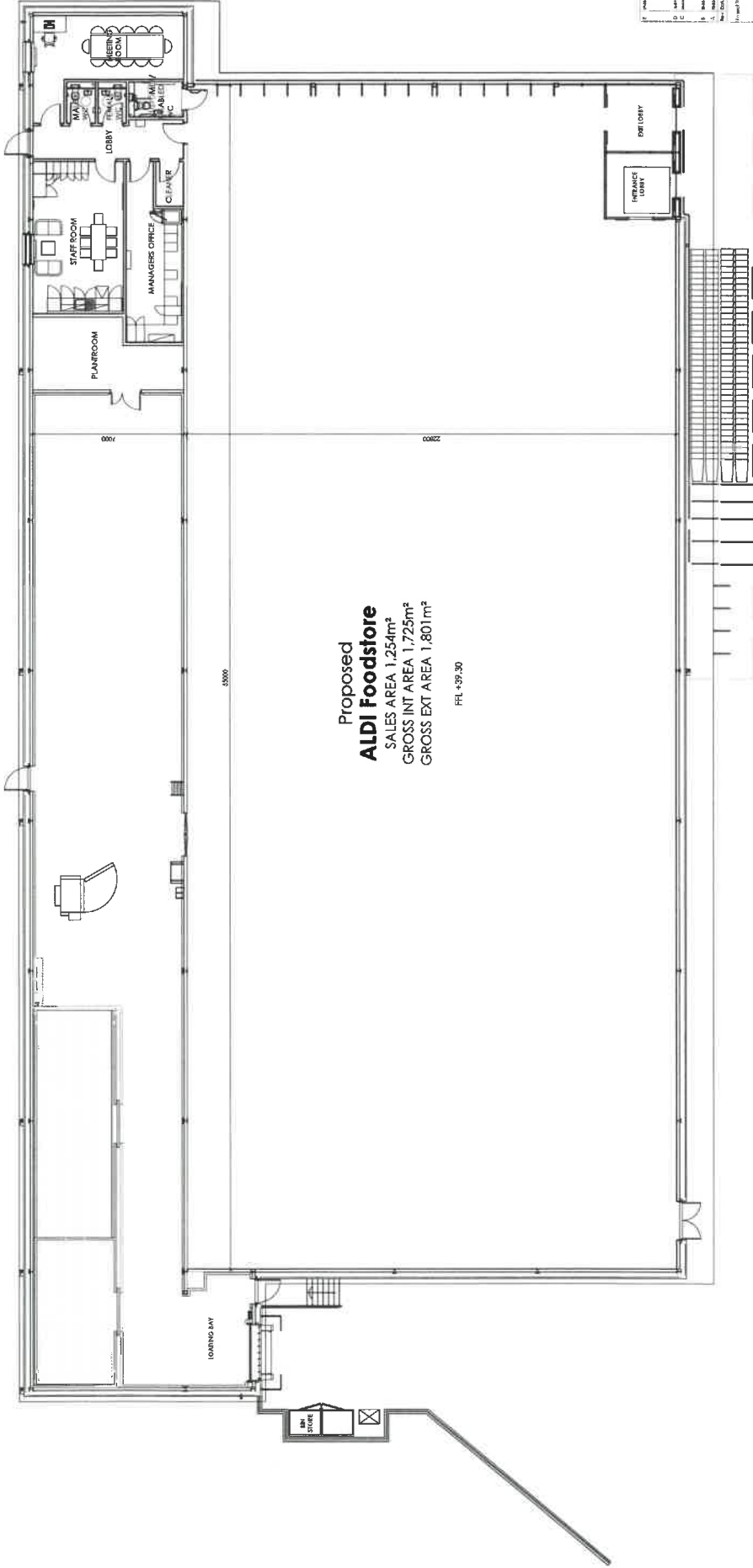
Proposed Site Plan = 1:2000 scale
 SOUTH 0°
 0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150 160 170 180 190 200
 1:2000 SCALE
 CADLINE ENGINEERING



DATE	14
REVISION	1
PROJECT	PROPOSED DEVELOPMENT
CLIENT	FORMER BLAKEMORE CASH AND CARRY SITE
LOCATION	1000 WILSON ROAD
DESCRIPTION	BANGSCE
DATE	11/10
SCALE	1:100
DATE	15/02/2019
SCALE	1:100
DATE	15/02/2019
SCALE	1:100
DATE	15/02/2019
SCALE	1:100
DATE	15/02/2019
SCALE	1:100

PROPOSED G.A. PLAN - SCALE 1:100
 0 1000 2000 3000 4000 5000mm
 SCALE 1:100
 CAD FILE REFERENCE





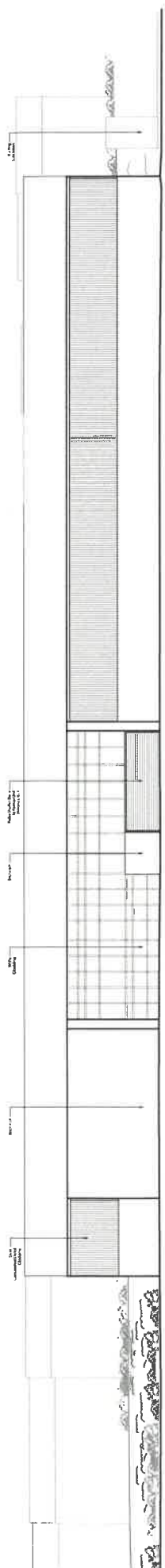
**Proposed
ALDI Foodstore**
SALES AREA 1,254m²
GROSS INT AREA 1,725m²
GROSS EXT AREA 1,801m²

FRL +39.30

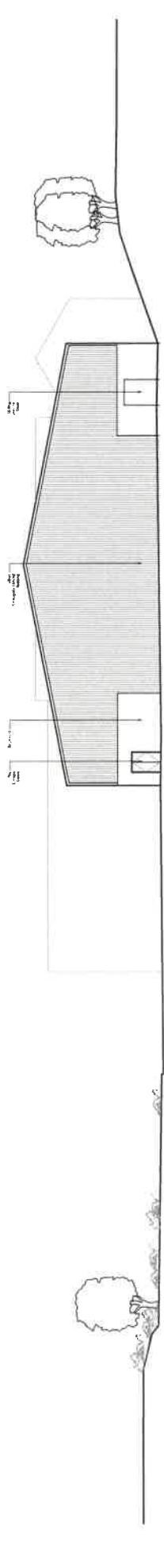
1. Name: Mr. J. J. J. J. 2. Address: 123 Main Street, City, State, Zip 3. Phone: 01234 567890 4. Email: j.j.j.j@example.com 5. Date: 15/01/2020		6. Scale: 1:100 7. Date: 15/01/2020 8. Drawn: J.J.J. 9. Checked: J.J.J. 10. No. of Sets: 10
PROPOSED DEVELOPMENT FORMER BLAENORE CASHING CARRY 1234567890 ROAD BANGOR		
Client: BAMPTON PROPERTY GROUP		
Title: PLANNING		
Date: FEB 2019	Drawn by: JBA	Checked by: JJR
Drawing No: PROPOSED G.A. PLAN		
Address No: 15252 - 104		No. of E: 10



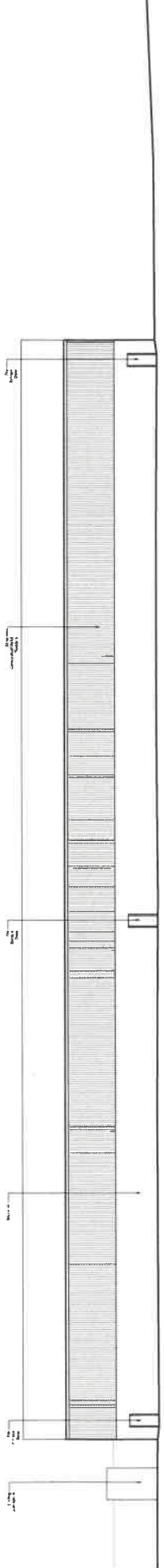
PROPOSED G.A. PLAN - SCALE 1:100
 0 1000 2000 3000 4000 5000mm
 SCALE 1:100



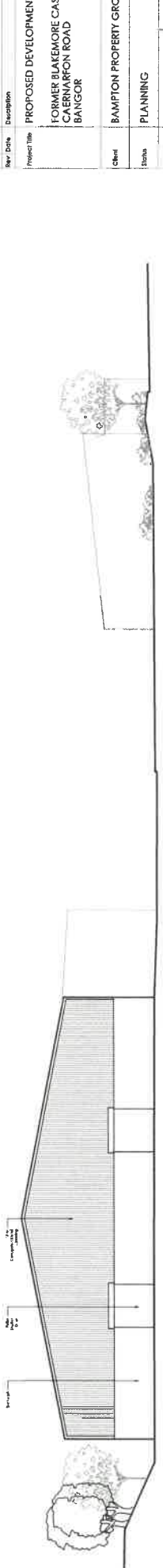
South East Elevation - A



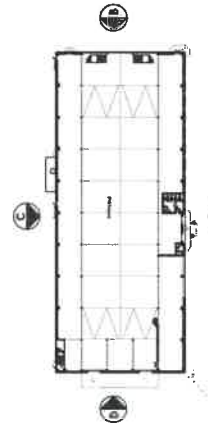
North East Elevation - B



North West Elevation - C



South West Elevation - D



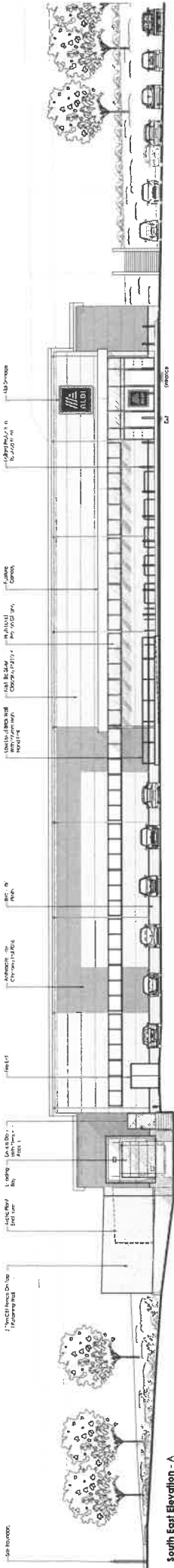
Elevation key - Not To Scale

Existing Elevations - 1:200 scale

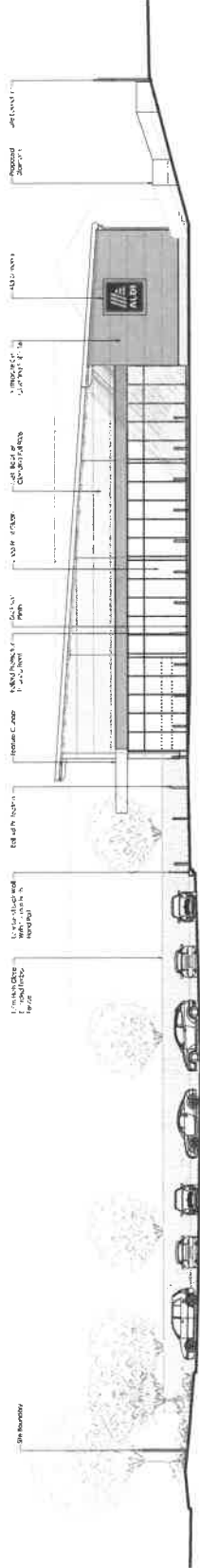


Drawn by	The Block Updated	EBA	LSR	
Checked by	Client file updated	JML	LSR	
Rev	Date	Description	Rev by	Chkd by
Project Title				
PROPOSED DEVELOPMENT				
FORMER BLAKEMORE CASH AND CARRY SITE				
CAERNARFON ROAD				
BANGOR				
Client	BAMPTON PROPERTY GROUP			
Phase	PLANNING			
Scale	1:200	Drawing Size	A2	
Date	FEB 2019	Drawn by	EBA	Created
Drawn by	EXISTING ELEVATIONS			
Job/Proj No	15252 - 103			Rev
<input type="checkbox"/> 255 John North, Wexford, WIJ 3CA T. 01522 291800 <input type="checkbox"/> 100 Waterfront, Manchester, M1 2EG T. 0161 2388555 <input type="checkbox"/> Newbold Parkway, M11 8AB T. 01905 211577 <input type="checkbox"/> 101 London Road, Totton, SO40 3DZ T. 0118 9507700 <input type="checkbox"/> 10 Green Coast, 31 Chalkhillers Place, Bournemouth, BH2 1JL T. 01202 407213				

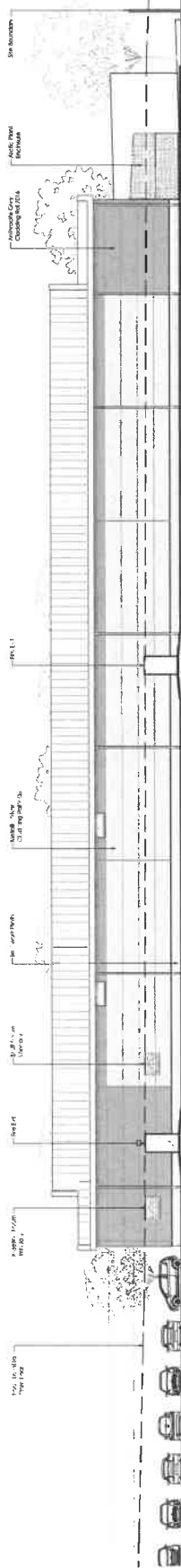




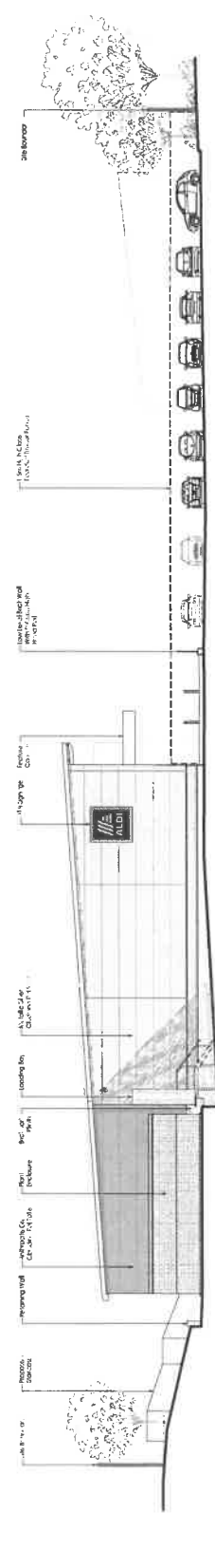
South East Elevation - A



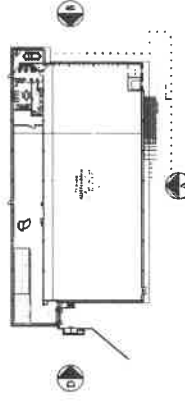
North East Elevation - B



North West Elevation - C



South West Elevation - D



Elevation key - Not To Scale

PROPOSED DEVELOPMENT
FORMER BLAKEMORE CASH AND CARRY SITE
CAERNARFON ROAD
BANGOR

Client: **BAMPTON PROPERTY GROUP**

Status: **PLANNING**

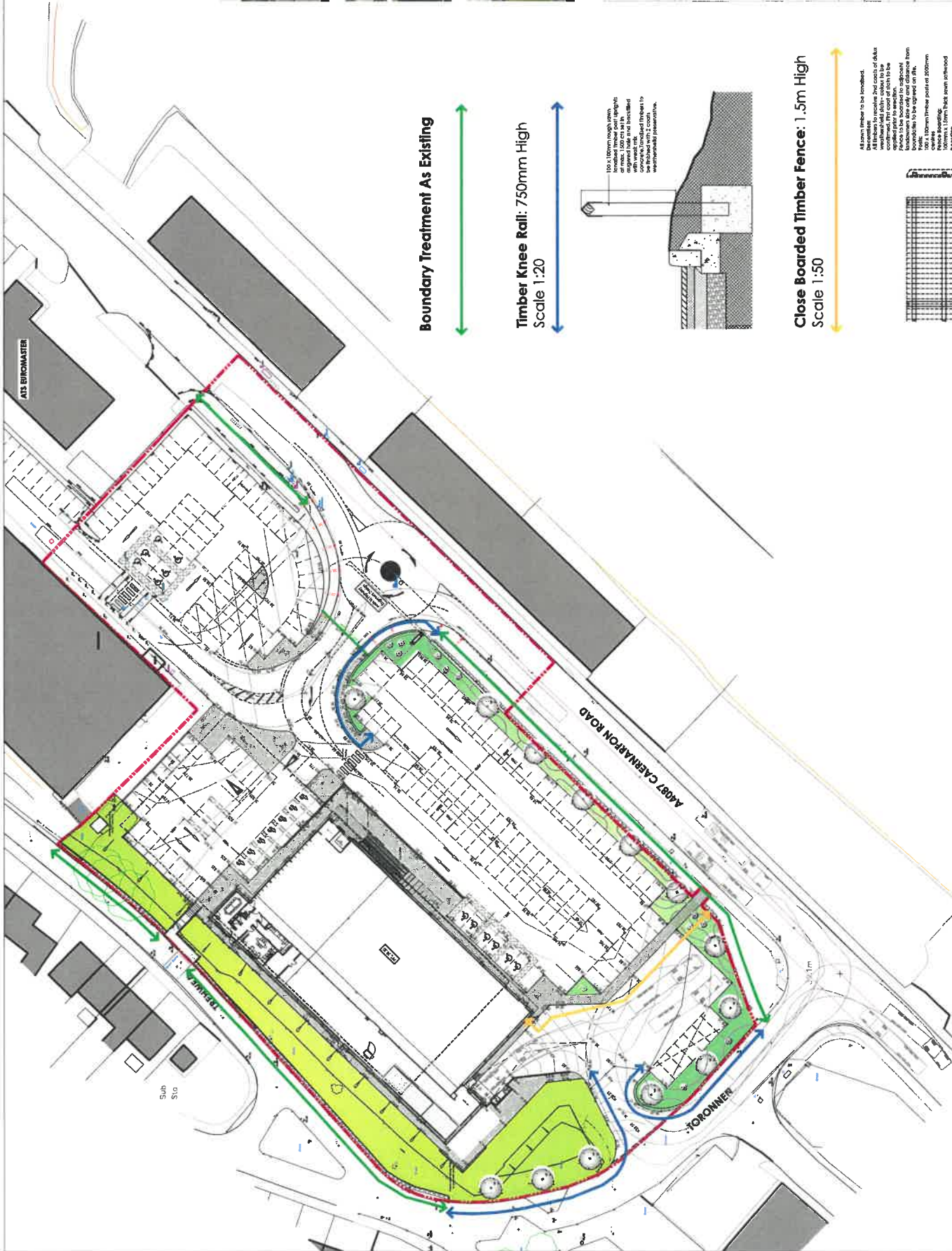
Scale	:1:200	Drawing Size	AZ
Date	JAN 19	Drawn by	JA
		Checked by	SSR

Drawing Title: **PROPOSED ELEVATIONS**
 Job/Design No: **15252 - 105** Rev: **E**

- G.S. Jones (Arch)
- 201 London Road, Bangor, Co. Down, BT18 9BA
- Tel: 0182 271800
- Fax: 0182 271805
- www.gsjones.com
- www.harris-partnership.com
- www.arc-hkts.com

Proposed Elevations - 1:200 scale

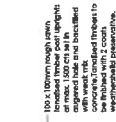




Boundary Treatment As Existing

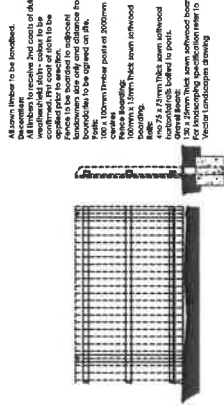


Timber Knee Rail: 750mm High
Scale 1:20

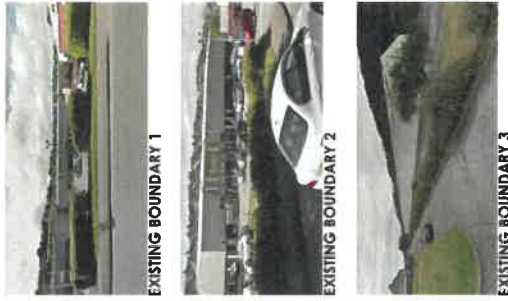


100 x 100mm rough sawn, treated timber post supports attached to the rail with metal air pins. Rail is 750mm high. Rail is attached to the post with metal air pins. Rail is 750mm high. Rail is attached to the post with metal air pins.

Close Boarded Timber fence: 1.5m High
Scale 1:50



All shown timber to be finished. All timbers to receive 2nd coat of clear wood preservative. All timbers to be treated with preservative. All timbers to be treated with preservative. All timbers to be treated with preservative.



EXISTING BOUNDARY 1

EXISTING BOUNDARY 2

EXISTING BOUNDARY 3

F	1:2000	Coordinate with updated site plan	MAI
E	1:2000	Updated to line with latest site plan	MAI
D	1:2000	Boundary updated	MAI
C	1:2000	Boundary updated	MAI
B	1:2000	Fence to service front parcel to 1.5m	MAI
A	1:2000	Boundary consultation updates	MAI
Rev	Date	Description	Rev By
			CHU
PROPOSED DEVELOPMENT			
FORMER BLAKESMORE CASH AND CARRY SITE CARNARVON ROAD BANGOR			
Client	BAMPTON PROPERTY GROUP		
Status	PLANNING		
Scale	1:500	Drawing Size	A2
Date	FEB 2019	Drawn by	EBA
		Checked by	SR
Drawing Title	PROPOSED BOUNDARY TREATMENT		
Jobbing No	15252 - 107		
		Rev	1
<input type="checkbox"/> E. J. Jones (Arch) <input type="checkbox"/> W. Williams (W/S) SGA <input checked="" type="checkbox"/> E. 01922 291800 <input type="checkbox"/> M. Marchant (Arch) 2918 <input type="checkbox"/> E. 0161 2388555 <input type="checkbox"/> E. 01922 291800 <input type="checkbox"/> E. 01922 211577 <input type="checkbox"/> 101 London Road <input type="checkbox"/> E. 0118 925790 <input type="checkbox"/> 10 Green Court St Chilworth Place <input type="checkbox"/> E. 0207 4071218 www.theharrispartnership.com			

Boundary Treatment Plan - 1:500 scale



Application Area =
12,530sqm / 3.10 acre