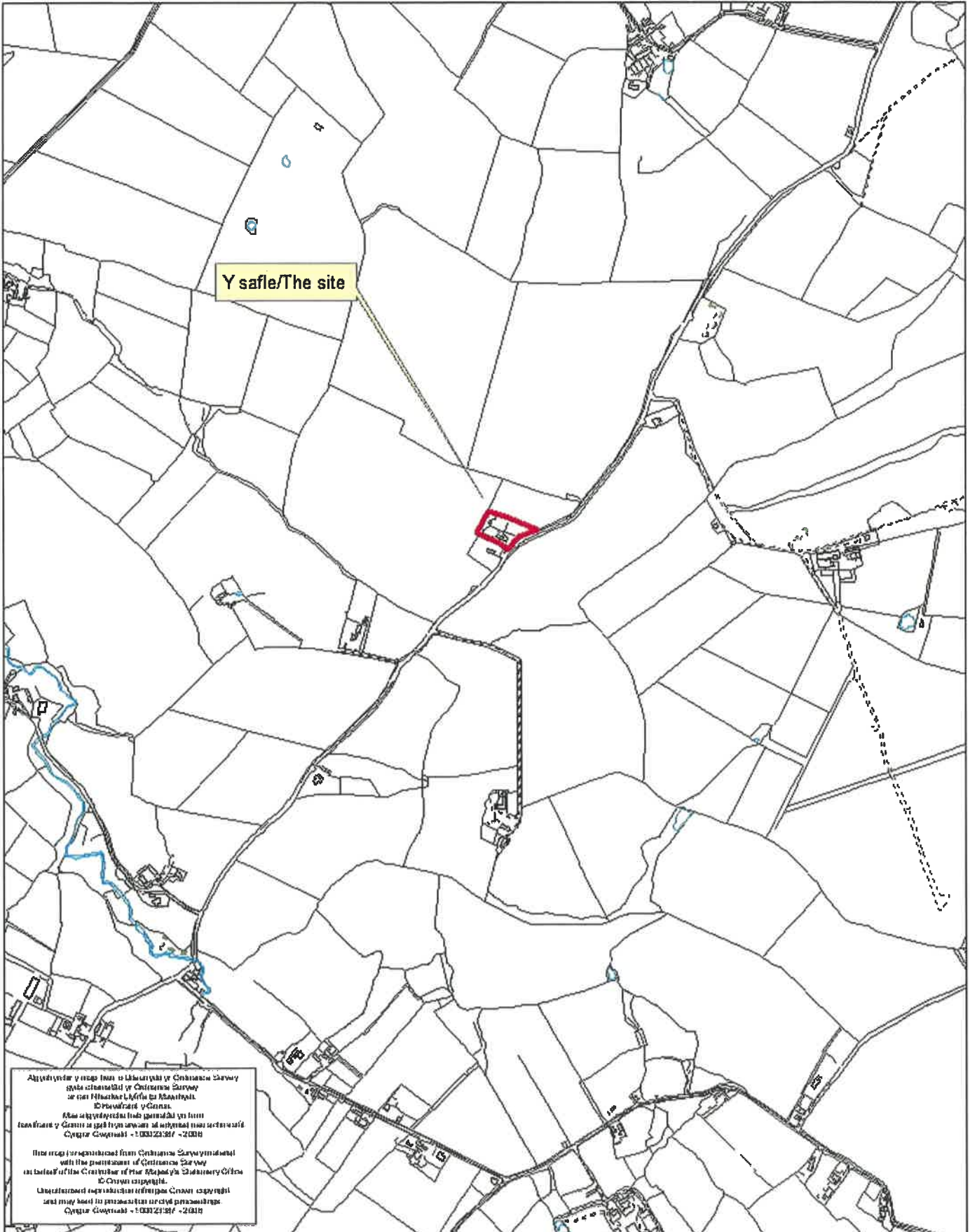




Rhif y Cais / Application Number : C19/0149/46/LL

Cynllun lleoliad ar gyfer adnabod y safle yn unig. Dim i raddfa.
Location Plan for identification purposes only. Not to scale.



H.M. LAND REGISTRY

TITLE NUMBER

WA475951

ORDNANCE SURVEY
PLAN REFERENCE

SH 2133

Scale
1/2500

~~COUNTY GWYNEDD~~

~~DISTRICT DWYFOR~~

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ADMINISTRATIVE AREA
GWYNEDD

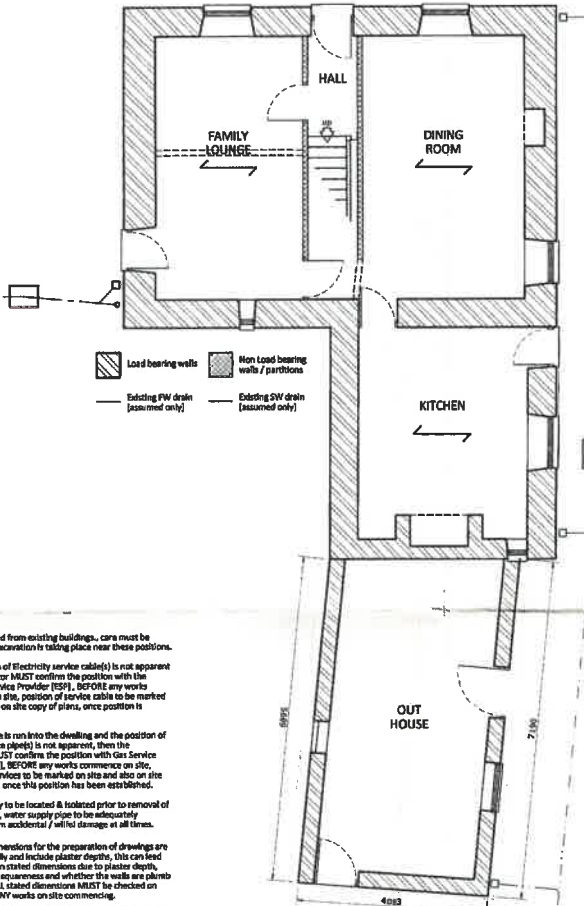
NOTE: AREAS ON THIS PLAN ARE EXPRESSED
IN ACRES AND HECTARES.



This copy of the title plan is incomplete without the preceding notes page.

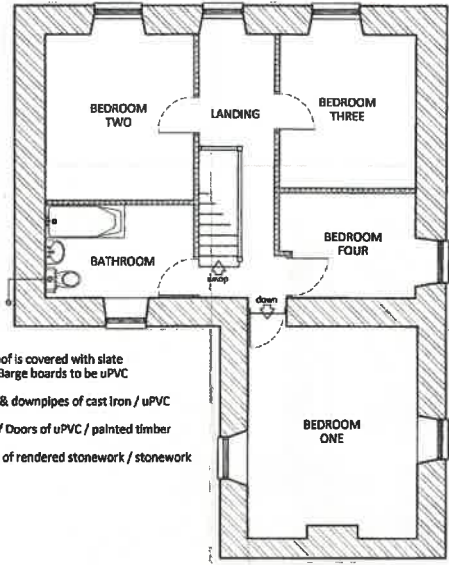
Mae'r copi hwn o'r cynllun teitl yn anghyflawn heb y dudalen flaenorol o nodiadau.

Existing Ground Floor

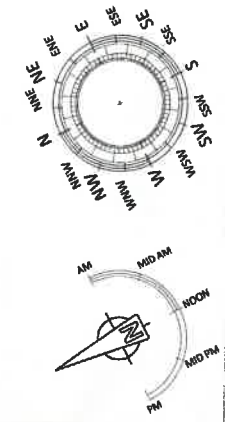


- Load bearing walls
- Non load bearing walls / partitions
- Existing FW drain (assumed only)
- Existing SW drain (assumed only)

Existing First Floor



- Existing roof is covered with slate
Fascias & Barge boards to be uPVC
- Guttering & downpipes of cast iron / uPVC
- Windows / Doors of uPVC / painted timber
- Elevations of rendered stonework / stonework



DAWNER
Services to and from existing buildings, care must be taken when excavation is taking place near these positions.

If the position of Electricity service cable(s) is not apparent then Contractor MUST confirm the position with the Electricity Service Provider (ESP), BEFORE any works commence on site, position of service cable to be marked on site & also on site copy of plans, once position is established.

If a gas service is run into the dwelling and the position of the Gas service pipe(s) is not apparent, then the contractor MUST confirm the position with Gas Service Provider (GSP), BEFORE any works commence on site, position of services to be marked on site and also on the copy of plans, once this position has been established.

WATER supply to be located & isolated prior to removal of any plaster, water supply pipe to be adequately protected from accidental / willful damage at all times.

Generally, dimensions for the preparation of drawings are taken internally and include plaster depths, this can lead to variations in stated dimensions due to plaster depth, the building's squariness and whether the walls are plumb - therefore ALL stated dimensions MUST be checked on site prior to ANY works on site commencing.

Where new walls are shown as aligned with existing walls, this must be checked by the physical removal of bridgework and or plaster to establish the actual physical position of the wall being attached to.

External & Internal masonry walls are assumed to be load-bearing, this must be confirmed on site by the excavation of a trial hole (if required - refer to AI, for position & number required) to enable to check the suitability of any masonry wall (or its foundation) construction for any additional loading, refer to AI / KJP for further instruction should the existing wall conditions prove to be unsuitable.

Site to be used only for the demolition / construction of the proposed works, which is to be protected at all times along with adjacent properties, not forming part of the works.

Care must be taken at all times to ensure that any works on the supply of all services (gas, electricity, water, gas, communications (BT, etc.) and surface water drainage) does not, at any time interfere with the supply of services into / out from the adjacent properties, is not affected, if this proves not to be the case, then the Contractor is to fully advise properties affected, as soon as problem is known and (where necessary) is to negotiate with adjacent properties regarding any appropriate action that may be required.

All works on existing underground services or any new works proposed must comply with the National Grid Utilities Group (NUG) Guidelines Volumes 1 - 6.

Prevent smoke, dust, fumes, spillage, & other harmful activities. No fires to be allowed on site, at any time, noise levels to be kept to a reasonable level, complying with BS 5231. Noise control on construction sites: remember that the adjacent properties are occupied, and comply with all reasonable requests from the general public / neighbours regarding the use of power tools etc.



**CYNYLLUN DIWYGIEDIG
REVISED PLAN**
Deddf: 19/04/2010
Llofnod: 19/04/2010

Specification
© JKP Architects
THESE PLANS MUST NOT BE USED UPON SITES THEY HAVE NOT BEEN APPROVED IN ACCORDANCE WITH BUSINESS REGULATIONS 2010 & ANY SUBSEQUENT AMENDMENTS. SHOULD THE OWNER OR CONTRACTOR COMMENCE WORKS WITHOUT THE ABOVE APPROVAL, THEY THEY DO SO AT THEIR OWN RISK. CONTRACTOR MUST CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT ON SITE, ANY AMENDMENTS TO BE REPORTED. DO NOT SCALE FROM DRAWINGS, PROVIDED DIMENSIONS ONLY TO BE USED.

FOR PLANNING PURPOSES ONLY

Drawings prepared for Planning purposes only, NOT for construction.

Materials noted on plans to be as stated, alterations in materials MUST be referred back to the relevant Planning Officer for confirmation that changes are NOT considered to be a 'material change' that would affect the Planning Permission or Permitted Development Rights of the proposal.

Any alterations to the approved plans MUST be notified to the Planning Officer or Planning Department for formal approval PRIOR to starting any part of the approved plans. Client to ensure that any conditions attached to the Planning Permission are formally approved in writing by the Planning Officer or Planning Department PRIOR to starting.

Client to ensure that the proposal is commenced within the time period stated in the Planning Approval (generally three years from the date of Approval).

Domestic clients have responsibility for Health & Safety matters, the Construction (Design and Management) Regulations 2015 (CDM 2015) now apply to Domestic clients. CDM 2015 states that a domestic client is any individual who has construction work carried out on their home, or the home of a family member, that is not done as part of any business. While CDM 2015 places client duties on commercial clients in full, such duties for domestic clients normally pass to other:

(A) The contractor, if it is a single contractor project, who must take on the legal duties of the client in addition to their own as contractor. In practice, this should involve little more than what they normally do in managing health and safety risks.

(B) The principal contractor, for projects with more than one contractor, who must take on the legal duties of the client in addition to their own as principal contractor. If the domestic client has not appointed a principal contractor, the client duties must be carried out by the contractor in control of the construction work.

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23.03.19 *Amended Dimensions added*

AMENDED PROPOSALS

| | |
|-------------------------|---------------------|
| Native CAD Format | - AutoCAD2013 |
| Printer Driver | - Acrobat Distiller |
| Paper Size | - A1 - 297x420mm |
| Resolution | - 600 |
| Colour Format | - RGB colours |
| Plotting Software | - Adobe Acrobat |
| Printed & Verified | - Yes |
| Satisfied with Accuracy | - Yes |

DATE: 15th of February 2019
JOB: Refurbishment of existing dwelling to Holiday Let and Refurbishment / Extension of outbuildings to four Holiday Lets (4 Holiday Lets in total)
FOR: Rod & Mel Burner
AT: Cong Cas, Llangwlad, Pwllheli, Gwynedd
POSTCODE: LL53 0JH
DRAWING: 002-Existing Farmhouse Floor Plans
PROJECT: See below
SCALE: 1:50 @ paper size - A1 [other scales as noted]
EXISTINGS: JJ PLANWANG: CJ BUILDING REGS: CJ

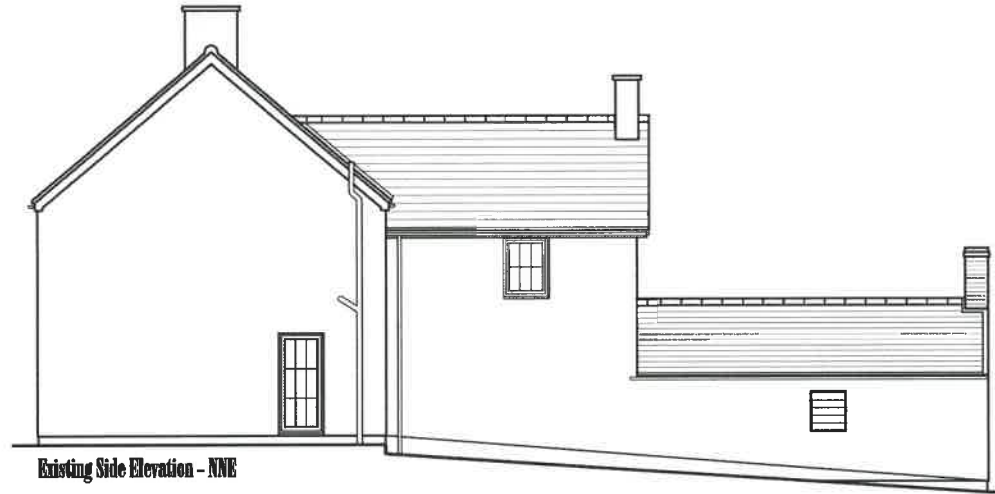
Office -
 62a Penrhy Road
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 Wrexham
 CH60 7RE
 T: 0151 342 2779
 E: chris@kenallkjones.com
 W: kenallkjones.com

KJP ARCHITECTURE

CYNYLLUN DIWYGIEDIG
REVISED PLAN
Deddf: 19/04/2010
Llofnod: 19/04/2010



Existing Front Elevation - ESE



Existing Side Elevation - NNE



Existing Rear Elevation - WNW



Existing Side Elevation - SSW

Specification

© by Architects
 THESE PLANS MUST NOT BE ACCED UPON UNTIL THEY HAVE BEEN APPROVED IN ACCORDANCE WITH BUILDING REGULATIONS 2010 & ANY SUBSEQUENT AMENDMENTS. SHOULD THE OWNER OR CONTRACTOR COMMENCE WORK WITHOUT THE ABOVE APPROVAL, THEN THEY DO SO AT THEIR OWN RISK. CONTRACTOR MUST CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT ON SITE. ANY AMENDMENTS TO BE REPORTED. DO NOT SCALE FROM DRAWINGS, PROVIDED DIMENSIONS ONLY TO BE USED.

FOR PLANNING PURPOSES ONLY

Materials, products and building systems shall be suitable for their intended purpose. The structure of the building shall have a life of at least 50 years. Individual components & assemblies, not integral to structure, may have a lesser durability & need planned maintenance, repair or replacement during their period. Proper account shall be taken of the use & location of materials, products & building systems in relation to:

- Durability of the structure & components & assemblies
- Geographical location
- Position on the site
- Position within the structure.

Materials, products and building systems will normally be acceptable if they comply with the following:

[I] MATERIAL & PRODUCT FOR CRITICAL FUNCTIONS

Functions critical to performance are: structure, fire resistance, weatherproofing, durability, thermal & sound insulation, services including heating appliances and flues.

Any of the following are acceptable:

- Compliance with the Department for Communities and Local Government (DCLG) published guidance on meeting requirements Approved Documents (AD) A- P and AD for Regulation 7, covering Materials and Workmanship, building work will have to comply with the requirements of any other relevant parts in Schedule 1 to regulations or
- Performance in accordance with standards set by National House Building Council (NHBC), or
- Where no standard is set, compliance with the relevant British Standard or European Technical Specification approved by a Committee for Standardisation, provided they are in accordance with relevant Code of Practice, or
- Compliance with standards not lower than those defined in a relevant British Standard specification or equivalent, provided their use is accepted, or
- Satisfactory assessment by an appropriate independent technical approval authority IE.

British Board of Agreement (BBA), Building Research Establishment (BRE),

or a body authorised under Annex 4 to the Construction Products Directive, or

- Use of materials and products in accordance with well established satisfactory custom and practice, provided that such custom and practice is acceptable to the Approved Inspector (AI).

[II] MATERIAL & PRODUCT FOR NON-CRITICAL FUNCTIONS

Compliance with the above acceptance criteria for critical functions or solely in accordance with manufacturers' recommendations for the specific use.

WORKMANSHIP

All work shall be carried out in a proper, neat & workman like manner, the Contractor / Builder shall ensure that:

- The conditions of the materials, products & the completed work are satisfactory
- Appropriate precautions are taken to prevent accidental or willful damage.

And that account is taken of the following:

- The requirements of the design
- Suitable methods of unloading and handling
- Proper protection during storage
- Use of correct installation methods
- Protection against weather during construction (including excessive heat, cold, wetting or drying)
- Protection against damage by following trades.

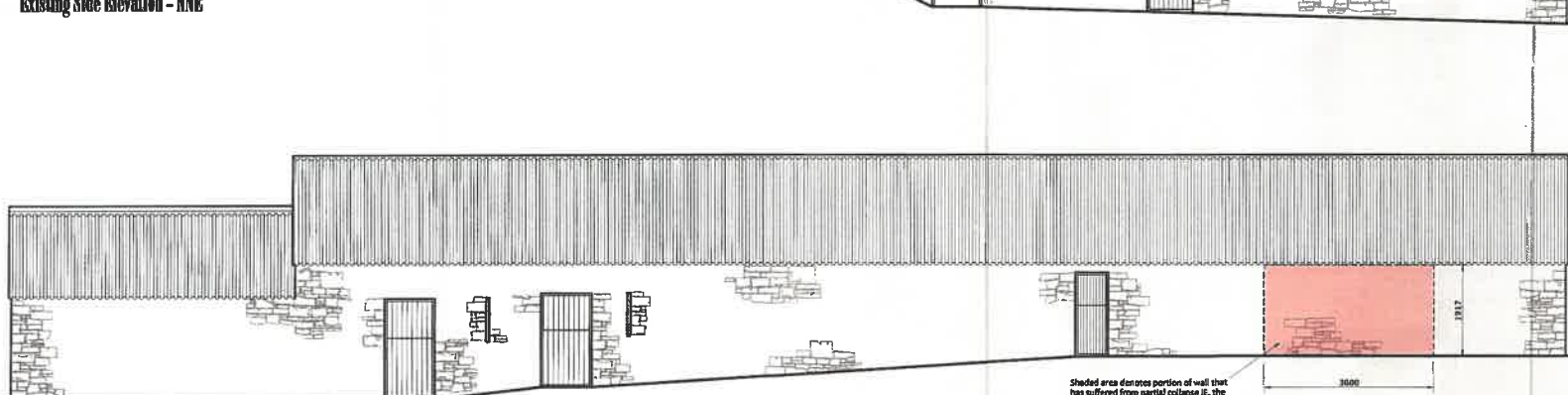
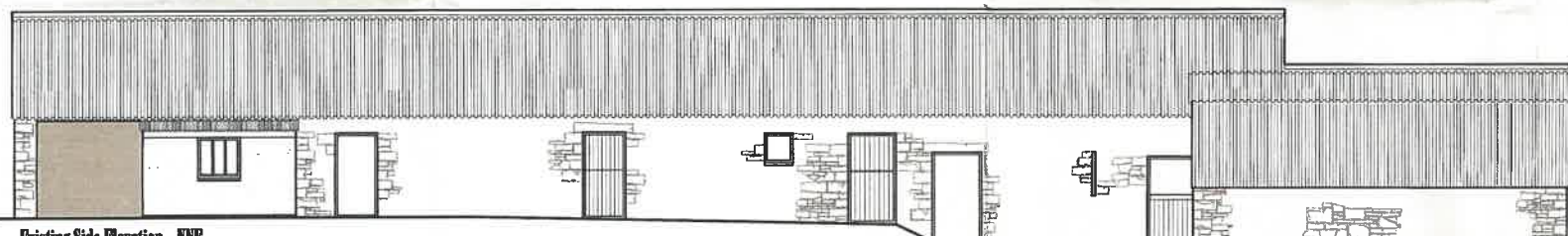
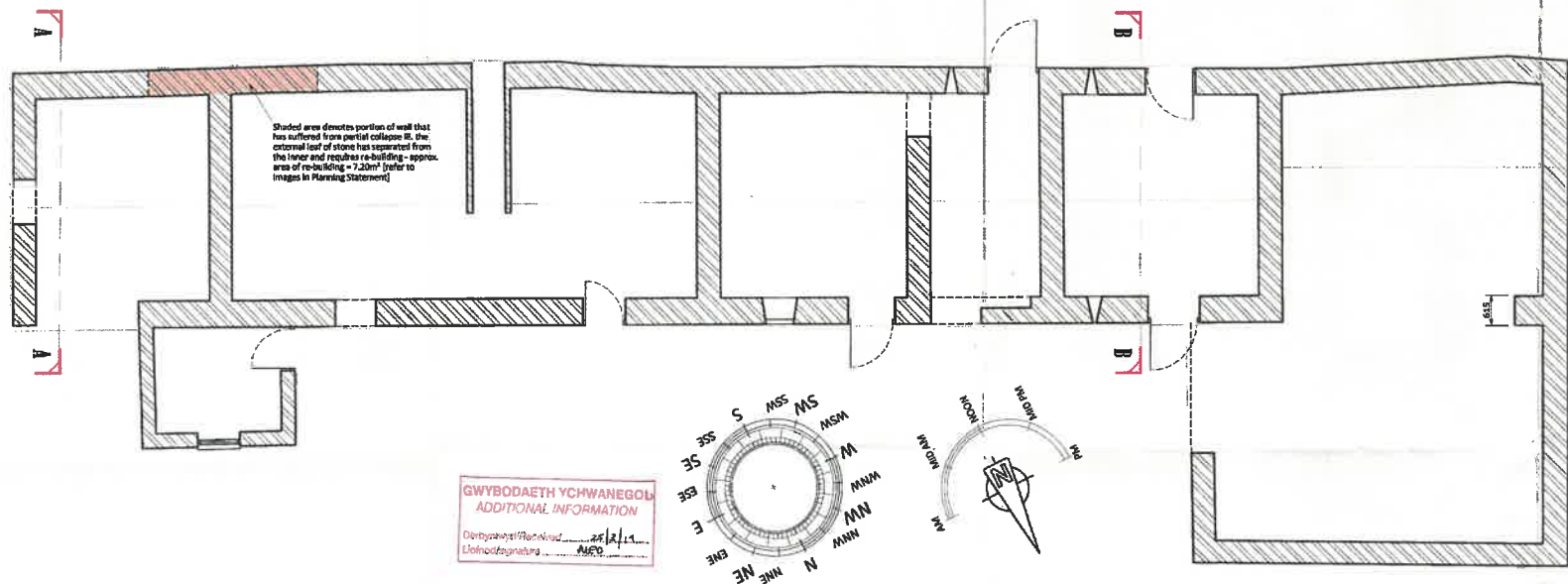
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|-------------------------|---------------------|
| Native CAD Format | - AutoCAD 2018 |
| Printer Driver | - Acrobat Distiller |
| Paper Size | - A1 - 594x841mm |
| Resolution | - 600 |
| Colour Format | - 256 colours |
| Plotting Software | - Adobe Acrobat |
| Printed & Verified | - Yes |
| Satisfied with Accuracy | - Yes |

DATE: 15th of February 2019
 JOB: Refurbishment of existing dwelling to Holiday Let and Refurbishment / Extension of outbuildings to four holiday lets (4 Holiday Lets in total)
 FDR: Rod & Mel Bulmer
 AT: Congl Cae, Llanspenniell, Penrhos, Gwynedd
 PROJECT NO: L153 016
 DRAWING NO: 003-Existing Farmhouse Elevations
 PROJECT NO: Bulmerts
 SCALE: 1:50 @ paper size - A1 (other scales as noted)
 EXISTINGS: II PLANNING: C3 BUILDING REGS: C2

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 62a Pensby Road
 Heswall
 Wirral
 CH60 7RE
 T: 0151 342 2779
 E: chris@benellicjones.com
 W: benellicjones.com



Existing Floor Plan



Existing Side Elevation - SSW

Shaded area denotes portion of wall that has suffered from partial collapse i.e. the external leaf of stone has separated from the inner and requires re-building - approx. area of re-building = 7.20m² (refer to images in Planning Statement)

Specification

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THESE PLANS MUST NOT BE ACTED UPON UNLESS THEY HAVE BEEN APPROVED IN ACCORDANCE WITH BUILDING REGULATIONS 2010 AND ANY SUBSEQUENT AMENDMENTS. SHOULD THE OWNER OR CONTRACTOR COMMENCE WORK WITHOUT THE ABOVE APPROVAL, THEY DO SO AT THEIR OWN RISK. CONTRACTOR MUST CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT ON SITE, ANY ANOMALIES TO BE REPORTED. DO NOT SCALE FROM DRAWING, PLOTTED DIMENSIONS ONLY TO BE USED.

FOR PLANNING PURPOSES ONLY

Drawings prepared for Planning purposes only, NOT for construction.

Materials noted on plans to be as stated, alterations to materials MUST be referred back to the relevant Planning Officer for confirmation that changes are NOT considered to be a 'material change' that would affect the Planning Permission or Formatted Development Rights of the proposals.
Any alterations to the approved plans MUST be notified to the Planning Officer or Planning Department for formal approval PRIOR to altering any part of the approved plans. Clients to ensure that any conditions attached to the Planning Permission are formally approved in writing by the Planning Officer or Planning Department PRIOR to entering.

Client to ensure that the proposal is commenced within the time period stipulated in the Planning Approval (generally three years from the date of approval).
Domestic clients have responsibility for Health & Safety matters; the Construction (Design and Management) Regulations 2015 (CDM 2015) now apply to Domestic clients. CDM 2015 states that a domestic client is any individual who has construction work carried out on their home, or the home of a family member, that is not done as part of any business. While CDM 2015 places client duties on commercial clients in full, such duties for domestic clients normally pass to either:
(A) The contractor, if it is a single contractor project, who must take on the legal duties of the client in addition to their own as contractor. In practice, this should involve little more than what they normally do in managing health and safety risks.
(B) The principal contractor, for projects with more than one contractor, who must take on the legal duties of the client in addition to their own as principal contractor. If the domestic client has not appointed a principal contractor, the client duties must be carried out by the contractor in control of the construction work.

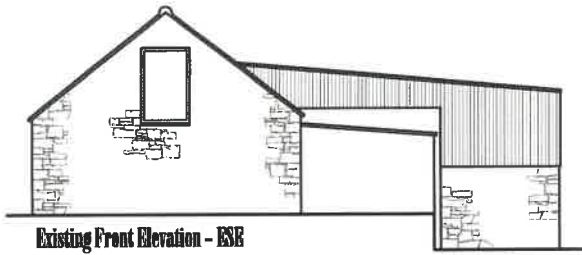
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- New Timber Work
- Facing brickwork
- Insulation blocks
- 7.0M Blockwork / conc. commoners
- Insul. blocks 140mm
- New clear glazing
- New obscure glazing
- Ringspan brickwork
- Rockwood insulation
- Existing opening to be built up
- Render / dashed brick
- New formed opening
- Structural Beam U-beam or similar
- New Brickwork
- New Tiles
- New underground drainage (DW)
- Load bearing masonry
- Property boundary
- Existing roof / geometry
- Proposed roof / geometry

AMENDED PROPOSALS

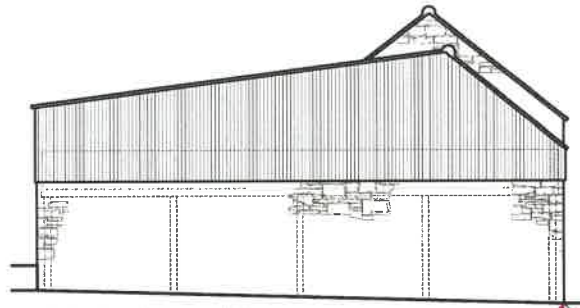
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|-------------------------|---------------------|
| Native CAD Format | - AutoCAD 2011 |
| Printer Driver | - Acrobat Distiller |
| Paper Size | - A3 - 297x420mm |
| Resolution | - 630 |
| Colour Format | - 256 colours |
| Plotting Software | - Adobe Acrobat |
| Printed & Verified | - Yes |
| Satisfied with Accuracy | - Yes |

DATE: 15th of February 2019
JOB: Refurbishment of existing dwelling to Holiday Let and Refurbishment / Extension of outbuildings to four Holiday Lets (4 Holiday Lets in total)
FOR: K&A, Ael Buwalde
AT: Conif Cae, Llangwmel, Pwllheli, Gwynedd
POSTCODE: LL53 9LH
ONS: 200 Existing Outbuilding Floor Plans & Elevations
PROJECT No: Buwalde
SCALE: 1:50 @ paper size - A3 (other scales as noted)
EXISTINGS: JI PLANNING: CJ BUILDING RES: CJ

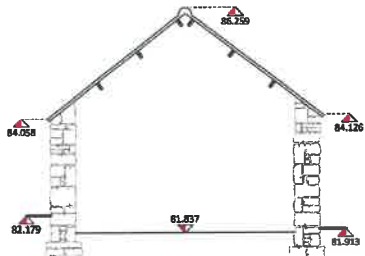
Office -
62a Porsy Road
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T: 0151 342 2779
E: chris@kenefickjones.com
W: kenefickjones.com



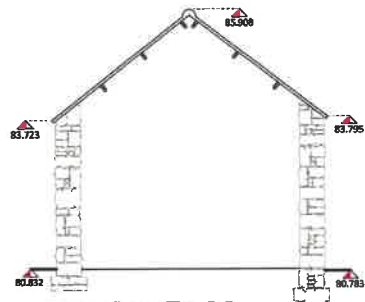
Existing Front Elevation - ESE



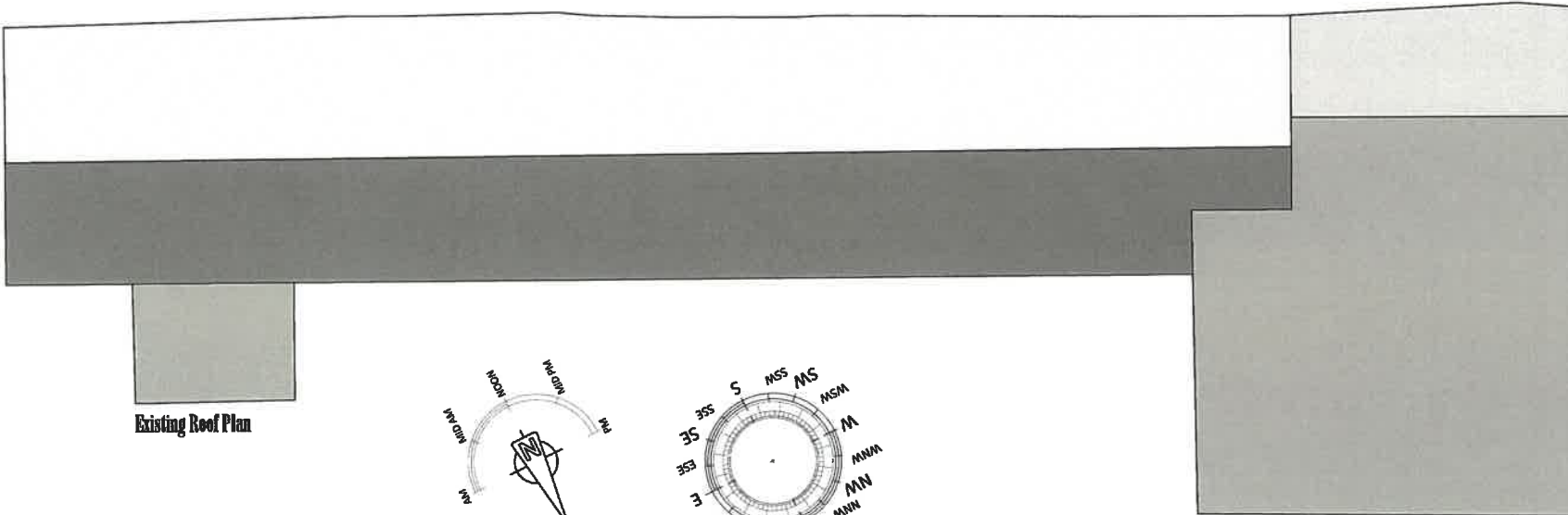
Existing Rear Elevation - WNW



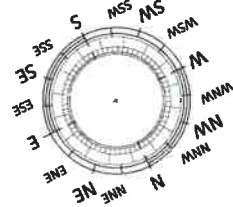
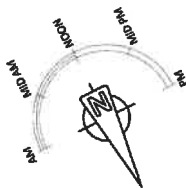
Existing Section Thru A-A



Existing Section Thru B-B



Existing Roof Plan



Specification
 THESE DRAWINGS MUST BE USED WITH THE DRAWINGS APPROVED IN ACCORDANCE WITH BUILDING REGULATIONS 2010 & ANY SUBSEQUENT AMENDMENTS. SHOULD THE OWNER OR CONTRACTOR COMMENCE WORK WITHOUT THE ABOVE APPROVAL, THEN THEY DO SO AT THEIR OWN RISK. CONTRACTOR MUST CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT ON SITE, ANY ANOMALIES TO BE REPORTED. DO NOT SCALE FROM DRAWINGS, PRINTED DIMENSIONS ONLY TO BE USED.

FOR PLANNING PURPOSES ONLY

Materials, products and building systems shall be suitable for their intended purpose. The structure of the building shall have a life of at least 60 years. Individual components & assemblies, not integral to structure, may have a lesser durability & need planned maintenance, repair or replacement during that period. Proper account shall be taken of the use & location of materials, products & building systems in relation to:

- Durability of the structure & components & assemblies
- Geographical location
- Position on the site
- Position within the structure.

Materials, products and building systems will normally be acceptable if they comply with the following:

[J] MATERIAL & PRODUCT FOR CRITICAL FUNCTIONS

Functions critical to performance are: structure, fire resistance, weatherproofing, durability, thermal & sound insulation, services including heating appliances and flues.

Any of the following are acceptable:

- Compliance with the Department for Communities and Local Government (DCLG) published guidance on meeting requirements Approved Documents (ADs) A, P and AD for Regulation 7, covering Materials and Workmanship, building work will have to comply with the requirements of any other relevant parts. In Schedule 1, to regulations or
- Performance in accordance with standards set by National House Building Council (NHBC), or
- Compliance with standards not lower than those defined in a relevant British Standard specification or equivalent, provided their use is accepted, or
- Satisfactory assessment by an appropriate independent technical approvals authority i.e.

British Board of Agrément (BBA), Building Research Establishment (BRE),

or a body authorised under Annex 4 to the Construction Products Directive, or

- Use of materials and products in accordance with well established satisfactory custom and practice, provided that such custom and practice is acceptable to the Approved Inspector (AI).

[K] MATERIAL & PRODUCT FOR NON-CRITICAL FUNCTIONS

Compliance with the above acceptance criteria for critical functions or strictly in accordance with manufacturers' recommendations for the specific use.

WORKMANSHIP

All work shall be carried out in a proper, neat & workman like manner, the Contractor / Builder shall ensure that:

- The conditions of the materials, products & the completed work are satisfactory
- Appropriate precautions are taken to prevent accidental or wilful damage.

And that account is taken of the following:

- The requirements of the design
- Suitable methods of unloading and handling
- Proper protection during storage
- Use of correct installation methods
- Protection against weather during construction (including excessive heat, cold, wetting or drying)
- Protection against damage by following trades.

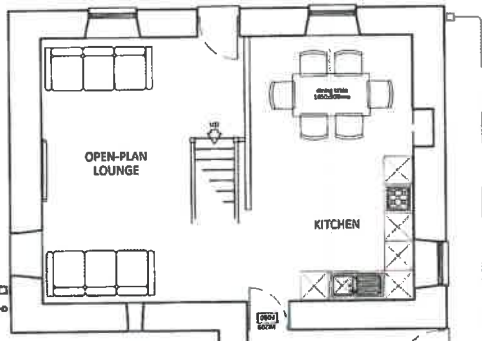
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|-------------------------|---------------------|
| Native CAD Format | - AllyCAD2013 |
| Printer Driver | - Acrobat Distiller |
| Paper Size | - A1 - 594x841mm |
| Resolution | - 300 |
| Colour Format | - 256 colours |
| Plotting Software | - Adobe Acrobat |
| Printed & Verified | - Yes |
| Satisfied with Accuracy | - Yes |

DATE: 15th of February 2013
 JOB: Refurbishment of existing dwelling to Holiday Let and Refurbishment / Extension of outbuildings to four Holiday Lets (4 Holiday Lets in total)
 FOR: Rod & Mel Bulmer
 AT: Congl Cae, Llangwlad, Pwllheli, Gwynedd
 PROJECT: ILS3 BHL
 DRG: 005-Existing Outbuilding Floor & Roof Plans
 PROJECT No: Bulmer01
 SCALE: 1:50 @ paper size - A1 [other scales as noted]
 EXSTNGS : JJ PLANNING: CJ BUILDING RES'S : CJ

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 E: chris@kenelljones.com
 W: kenelljones.com



Proposed Ground Floor



Positions of drainage runs & types of drainage indicated on drawings are entirely provisional only.

Contractor to check type, fall, invert & position of existing drainage systems to ensure adequate fall exists, & that all is satisfied with site drainage details BEFORE excavation of drainage runs.

Site to be used only for the demolition / construction of the proposed works, which is to be protected at all times along with adjacent properties, not forming part of the works.

Care must be taken at all times to ensure that any works on the supply of all services into / from property (ie electricity, water, gas, communications (TV, etc.), floor & surface water drainage) does not, at any level interfere with the supply of services into / out from the adjacent properties, is not affected, if this proves not to be the case, then the Contractor is to fully advise properties affected, as soon as problems are known and (where necessary) to negotiate with adjacent properties regarding any appropriate action that may be required.

All works on existing underground services or any new works proposed must comply with the National Joint Utilities Group (NJUG) Guidelines Volumes 1-6.

Prevent smoke, dust, fumes, spillage, & other harmful activities. No fires to be allowed on site, at any time, with the exception of those for a reasonable level, complying with BS 5233. Water control on construction sites: remember that the adjacent properties are occupied, and comply with all reasonable requests from the general public / neighbours regarding the use of power tools etc.

DANGER

Services to and from existing buildings, care must be taken when excavation is taking place near these positions.

If the position of Electricity service cable(s) is not apparent then Contractor MUST confirm the position with Electricity Board, BEFORE ANY works commence on site, position of service cable to be marked on site & also on site copy of plans, once position is established.

WATER supply to be located & isolated prior to removal of any pipework, water supply pipe to be adequately protected from accidental / willful damage at all times, contact Water Authority for advice etc.

In order to reduce potential root disturbance during construction works, if there are trees / root systems within a likely zone of influence (generally considered to be 2x the diameter of the stem of the tree) of the proposed works then protection is required and reference should be made to current industry guideline BS 5837: Trees in Relation to Construction, 1999, pts 7 & 8.

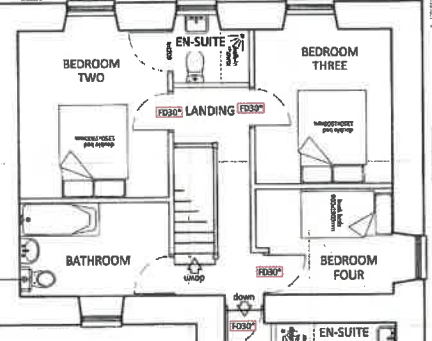
Protective measures are designed to reduce against close proximity development disturbance & should be implemented PRIOR to any breaking ground works, demolition OR construction.

Protection areas around trees should be classed as Total Exclusion Zones (TEZ's) and NO storage of materials, tools, machinery, site offices, other temporary buildings, other building supplies or any works should take place within TEZ under any circumstances and all TEZ's should remain in place for the duration of the development works - signs should be attached to protective fencing indicating such restrictions in force.

Any works to protected trees MUST be in accordance with BS5837:2012 'Trees in Relation to Design Demolition and Construction' & PRIOR agreement with the Arboricultural Officer of the Local Authority.

Any tree replacement scheme to be agreed in writing with the Arboricultural Officer and not to be put into action during the first planting season after the work has been completed.

Proposed First Floor



Septic tanks shall be sited & constructed to prevent contamination of water and health hazard, final position of septic tanks is to be agreed on site with the specific approval of the Approved Inspector(AI), once the existing ground conditions have been assessed, items to be taken into account include:

- Outfall disposal - Satisfactory outfall disposal is essential where septic tank sewage disposal is installed.
- Environment Agency consent may be needed in England & Wales. Ground conditions may preclude the use of septic tanks in some locations. The AI may require evidence of a satisfactory percolation test where a septic tank drainage system is to be installed. Septic tanks should be sited taking account of site topography to ensure that water is drained away from the building.
- Imperviousness to liquids - Septic tanks should be impermeable to their contents and to soil water and constructed of glass reinforced plastic by Milgarder (or similar approved manufacturer).
- Cover and ventilation - Septic tanks should be covered and ventilated.
- Siting, inspection and access - Septic tanks should be sited at least 7m from a dwelling, but within 30m of a vehicle access to facilitate emptying. Septic tanks should be provided with access for emptying or de-sludging and cleaning. All such access points where entry is required should have no dimension less than 600mm and be provided with lockable covers. Inlets and outlets of septic tanks should be provided with access for inspection.
- Velocity of flow - Provision should be made to limit the velocity of the flow to a septic tank, for drains up to 150mm diameter, the velocity may be limited by lagging the last 12m of the incoming drain at gradient not steeper than 1:50. A dip pipe should be provided with the top limb rising above ground level and the bottom limb extending about 450mm below top water level.

Shaded area denotes footprint of existing areas which is to be 'toured off'.

**CYNLLUN DIWYGIEDIG
REVISED PLAN**

Deddyddig/for'audd'...
Lofhysgysgys... MEO

Where excavations are adjacent to the existing foundations, then the existing foundations are to be exposed for checking by the AI as to the suitability for any additional loading, where the proposed foundations are deeper than the existing then they are to be locally underpinned by 'flooding' with concrete when pouring new foundations, check with AI as to whether there is a need for mesh reinforcement to the new foundations in these areas.



Proposed Section A-A



Proposed Section B-B

Generally, dimensions for the preparation of drawings are taken internally and include plaster depths, this can lead to variations in stated dimensions due to plaster depth and squariness, therefore ALL stated dimensions MUST be checked on site prior to ANY works on site commencing.

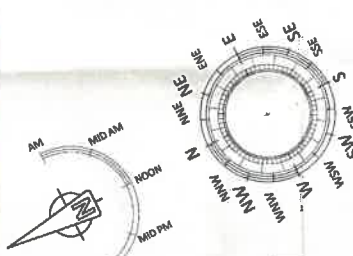
Where new walls are shown as aligned with existing walls, this must be checked by the physical removal of brickwork and or plaster to establish the actual position of the wall being retained.

External & Internal masonry walls are assumed to be load bearing, this must be confirmed on site by the excavation of a trial hole (if required - refer to AI, for position & number required) in order to check the suitability of any masonry wall (or its foundation) construction for any additional loading, refer to AI / KJP for further instruction should the existing wall conditions prove to be unsuitable.

Areas shown as 'Existing opening to be built up' to be built as the construction surrounding the opening, new masonry attached by 'hooking' or by proprietary fixing system such as 'Bluebird' Galvanneal Screcrete System: -inner leaf 304 Austenitic S/S to BS EN 10088-2/05 1.4301.

Where the existing doors are deemed as NOT suitable, they are to be upgraded with Intumescent paper & fitted with three self closing hinges tested to BS476 Part 22 (2007) to a min 30 / 60 minutes & intumescent strips certified by Antifer Limited - 0151 353 8898 (or similar certified company) (check the guidance of the AI regarding the effectiveness of the existing doors as to the level of upgrading required).

Where existing castings are to be retained, then the AI may request removal of architraves to check that existing castings fit flush to the surrounding construction, where gaps occur, then they are to be filled with fire-stopping material.



Specification

THESE PLANS MUST NOT BE ACTED UPON UNTIL THEY HAVE BEEN APPROVED IN ACCORDANCE WITH BUILDING REGULATIONS 2010 & ANY SUBSEQUENT AMENDMENTS. BEFORE THE OWNER OR CONTRACTOR COMMENCE WORK WITHOUT THE ABOVE APPROVAL, THEN THEY DO SO AT THEIR OWN RISK. CONTRACTOR MUST CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT ON SITE, ANY AMENDMENTS TO BE REPORTED, DO NOT SCALE FROM DRAWINGS, MEASURE DIMENSIONS ONLY TO BE USED.

FOR PLANNING PURPOSES ONLY

Drawings prepared for Planning purposes only, NOT for construction.

Materials noted on plans to be as stated, alterations in materials MUST be referred back to the relevant Planning Officer for confirmation that changes are NOT considered to be a 'material change' that would affect the Planning Permission or Permitted Development Rights of the proposal(s).

Any alterations to the approved plans MUST be notified to the Planning Officer or Planning Department for formal approval PRIOR to altering any part of the approved plans. Client to ensure that any alterations checked to the Planning Permission are formally approved in writing by the Planning Officer or Planning Department PRIOR to ordering.

Client to ensure that the proposal is commenced within the three year period stated in the Planning Approval (generally three years from the date of Approval). Domestic clients have responsibility for Health & Safety matters, the Construction (Design and Management) Regulations 2015 (CDM 2015) now apply to Domestic clients. CDM 2015 states that a domestic client is any individual who has construction work carried out on their home, or the home of a family member. This is not done as part of her business. Where CDM 2015 places client duties on commercial clients in full, such duties for domestic clients normally pass to either:

(A) The contractor, if it is a single contractor project, who must take on the legal duties of the client in addition to their own as contractor. In practice, this should involve little more than what they normally do in managing health and safety risks.

(B) The principal contractor, for projects with more than one contractor, who must take on the legal duties of the client in addition to their own as principal contractor. If the domestic client has not appointed a principal contractor, the client duties must be carried out by the contractor in control of the construction work.

| | | | |
|--|-------------------------|--|---|
| | Facing brick | | Insul. block 3.5H |
| | Insul. block 7.0H | | Insul. block 3.5H 100mm |
| | Open glazing | | Obscure glazing |
| | Kingspan insulation | | Orlthem Slab 32 |
| | Foundation excavation | | Lightweight Partition |
| | Exist. opening built up | | Render / dashed finish |
| | Concrete Padstone | | Loadwork to valley / flashing |
| | Formed opening | | Structural Beam |
| | Brickwork | | Roof tiles |
| | FW drainage | | SW drainage |
| | Property boundary | | 18mm spray above / below Proposed roof geometry |
| | 100mm C24 | | 100mm SWS steel post |
| | Drain pipe | | |

12.09.18 Amended approved full single storey info

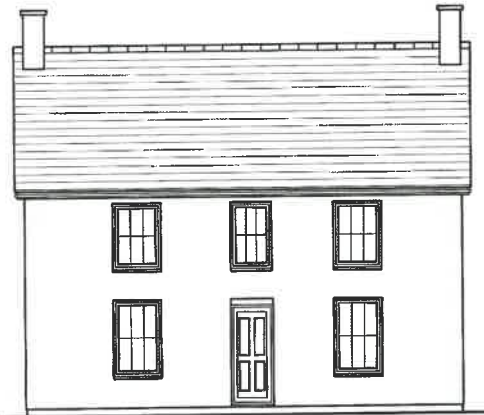
REVISED PROPOSALS

| | |
|--------------------------|-------------------|
| Native CAD Format: | dwg/A32118 |
| Printer Driver: | Acrobat Distiller |
| Paper Size: | A1 - 594x841mm |
| Resolution: | 60DPI |
| Colour Format: | 256 colours |
| Plotting Software: | Adobe Acrobat |
| Printed & Verified: | Yes |
| Sealified with Accuracy: | Yes |

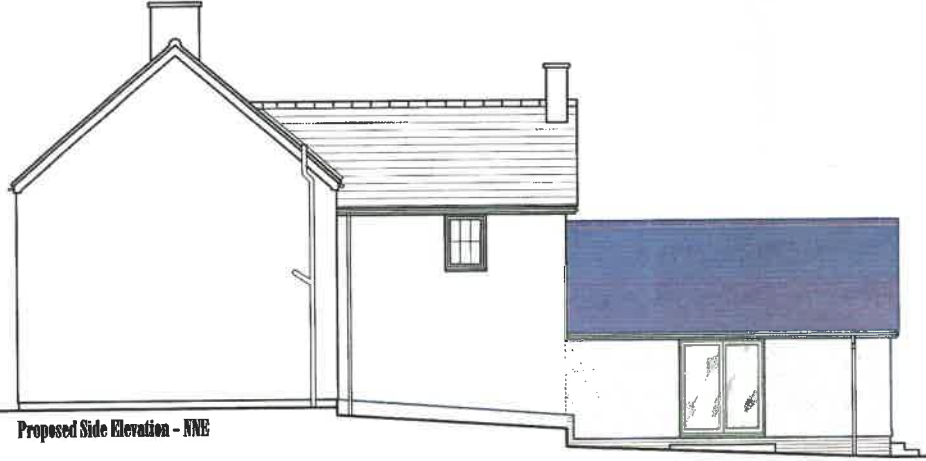
DATE: 15th of February 2019
 ICM: Re-arrangement of existing dwelling to Holiday Lets and Rebuild/extension / extension of outbuildings to four Holiday Lets (4 Holiday Lets in total)
 PDC: Todd & Mel Dwyer
 AT: Coral Cole, Llanerddaw, Penrith, Cumbria
 PROJECT No: Bldn021
 POSTCODE: LA53 9PL
 DRG: 006-Proposed Farmhouse Floor Plans & Sections
 SCALE: 1:500 @ paper size - A1 (other scales as noted)
 EXISTING I.P. PLANNING C. BUILDING REGS: C

Office:
 02a Penrith Road
 Heswall
 Wirral
 CH60 7RE
 T: 0151 342 2779
 E: chris@benefickjones.com
 W: benefickjones.com





Proposed Front Elevation - ESR



Proposed Side Elevation - NNE

Roof to be re-covered with reclaimed slate (sized & lapped to match existing) sourced locally harvested from the existing structure - any additional slates required are to be sourced at the earliest opportunity and mixed in with the existing PRIOR to commencement.

Barge boards, rafter feet and external timber to match existing

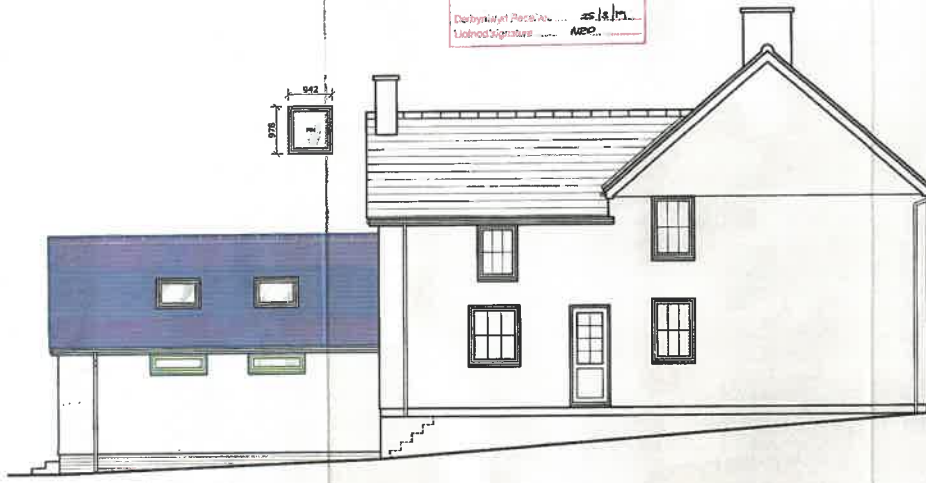
Guttering & downpipes to match existing

Windows / Doors to be of painted timber

Elevations to be rendered to match the finish of the existing elevations.



Proposed Rear Elevation - WNW



Proposed Side Elevation - SSW

Specification

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 THESE PLANS MUST NOT BE ACTED UPON UNTIL THEY HAVE BEEN APPROVED IN ACCORDANCE WITH BUILDING REGULATIONS 2010 & ANY SUBSEQUENT AMENDMENTS. SHOULD THE OWNER OR CONTRACTOR COMMENCE WORK WITHOUT THE ABOVE APPROVAL, THEN THEY DO SO AT THEIR OWN RISK. CONTRACTOR MUST CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT ON SITE, ANY AMENDMENTS TO BE REPORTED, NO KEY SCALE FROM DRAWINGS, FINISHED DIMENSIONS ONLY TO BE USED.

FOR PLANNING PURPOSES ONLY

Materials, products and building systems shall be suitable for their intended purpose. The structure of the building shall have a life of at least 60 years. Individual components & assemblies, not integral to structure, may have a lesser durability & need planned maintenance, repair or replacement during that period. Proper account shall be taken of the use & location of materials, products & building systems in relation to:

- Durability of the structure & components & assemblies
- Geographical location
- Position on the site
- Position within the structure.

Materials, products and building systems will normally be acceptable if they comply with the following:

[I] MATERIAL & PRODUCT FOR CRITICAL FUNCTIONS

Functions critical to performance are: structure, fire resistance, weatherproofing, durability, thermal & sound insulation, services including heating appliances and flues.

Any of the following are acceptable:

- Compliance with the Department for Communities and Local Government (DCLG) published guidance on meeting requirements Approved Documents (ADs) A-P and AD for Regulation 7, covering Materials and Workmanship. Building work will have to comply with the requirements of any other relevant parts in Schedule 1 to regulations or
- Performance in accordance with standards set by National House Building Council (NHBC), or
- Where no standard is set, compliance with the relevant British Standard or European Technical Specification approved by a Committee for Standardization, provided they are in accordance with relevant Code of Practice, or
- Compliance with standards not lower than those defined in a relevant British Standard specification or equivalent, provided their use is accepted, or
- Satisfactory assessment by an appropriate independent technical approval authority i.e.

British Board of Agrément (BBA), Building Research Establishment (BRE),

or a body authorized under Annex 4 to the Construction Products Directive, or

- Use of materials and products in accordance with well established satisfactory custom and practice, provided that such custom and practice is acceptable to the Approved Inspector (AI).

[II] MATERIAL & PRODUCT FOR NON-CRITICAL FUNCTIONS

Compliance with the above acceptance criteria for critical functions or strictly in accordance with manufacturers' recommendations for the specific use.

WORKMANSHIP

All work shall be carried out in a proper, neat & workman like manner, the Contractor / Builder shall ensure that:

- The conditions of the materials, products & the completed work are satisfactory
- Appropriate precautions are taken to prevent accidental or willful damage

And that account is taken of the following:

- The requirements of the design
- Suitable methods of unloading and handling
- Proper protection during storage
- Use of correct installation methods
- Protection against weather during construction (including excessive heat, cold, wetting or drying)
- Protection against damage by following trades

3.39.11 Annex approved off & under storey only

AMENDED PROPOSALS

| | |
|-------------------------|----------------|
| Printer Driver | Adobe Acrobat |
| Paper Size | A3 - 594x841mm |
| Resolution | 300 |
| Colour Format | 256 colours |
| Plotting Software | Adobe Acrobat |
| Printed & Verified | Yes |
| Satisfied with Accuracy | Yes |

DATE: 15th of February 2019
 JOB: Reinforcement of existing dwelling to Holiday Let and Refurbishment / Extension of outbuildings to four Holiday Lets (4 Holiday Lets in total)
 FOR: Todd & Neil Rutter
 AT: Canal Cae, Llangyned, Puffinell, Gwynedd
 POSTCODE: LL53 9RL
 DRAWINGS: 007-Proposed Farmhouse Elevations
 PROJECT No: Balmwyl
 SCALE: 1:50 @ paper size - A1 (other scales as noted)
 DRAWINGS: I: PLANNING; C: BUILDINGS; R: E: S

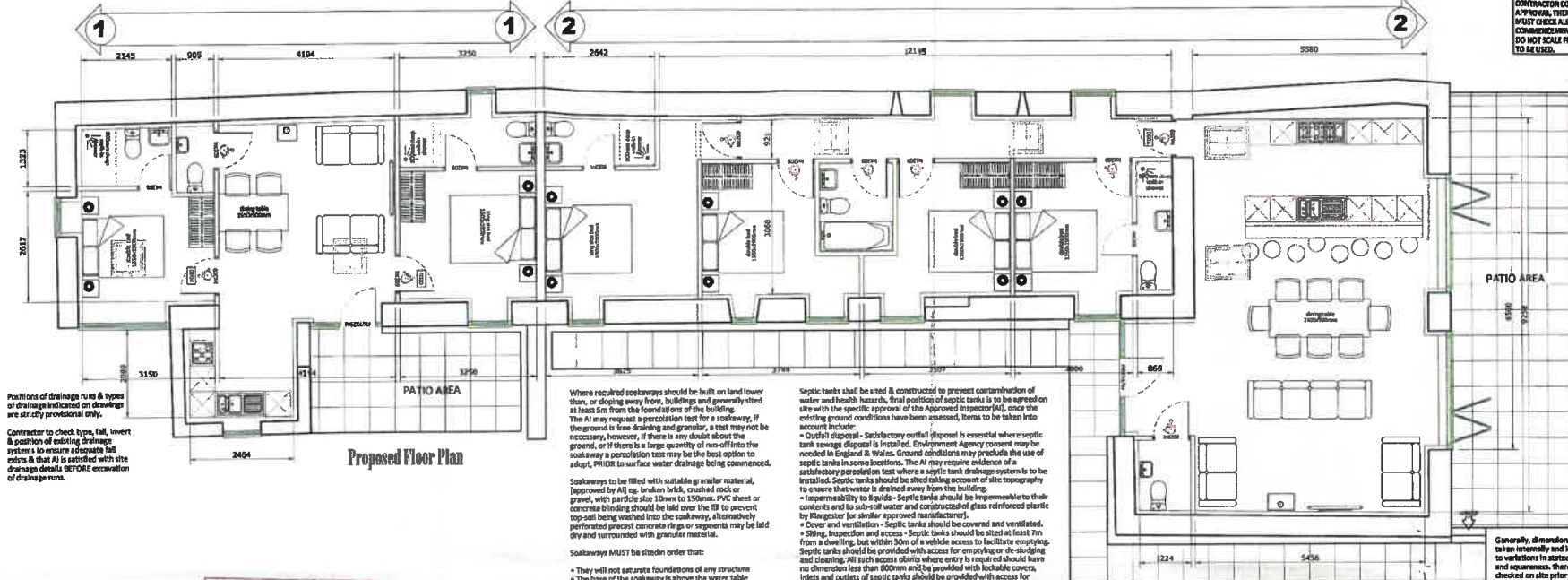
Office:
 62a Penrhay Road
 Heswall
 Wirral
 CH60 7RE
 T: 0151 342 2779
 E: chris@benefitjones.com
 W: benefitjones.com



25/11/2019

Unit 1 - sleeps 4

Unit 2 - sleeps 8



Positions of drainage runs & types of drainage indicated on drawings are strictly provisional only.

Contractor to check type, fall, invert & position of existing drainage systems to ensure adequate fall exists & that AI is satisfied with site drainage details BEFORE excavation of drainage runs.

Proposed Floor Plan

Where required soakaways should be built on land lower than, or sloping away from, buildings and generally sited at least 5m from the foundations of the building. The AI may request a percolation test for a soakaway, if the ground is free draining and granular, a test may not be necessary, however, if there is any doubt about the ground, or if there is a large quantity of run-off into the soakaway a percolation test may be the best option to adopt, PRIOR to surface water drainage being commenced.

Soakaways to be filled with suitable granular material, (approved by AI) eg. broken brick, crushed rock or gravel, with particle size 10mm to 150mm. PVC sheet or concrete blinding should be laid over the fill to prevent top-soil being washed into the soakaway, afterwards precast concrete rings or segments may be laid dry and surrounded with granular material.

Soakaways MUST be sited in order that:

- They will not undermine foundations of any structure
- The base of the soakaway is above the water table
- They are far away from other soakaways so that there is no risk of contamination from other pollutants.

Septic tanks shall be sited & constructed to prevent contamination of water and health hazards. Final position of septic tanks is to be agreed on site with the specific approval of the Approved Inspector(AI), once the existing ground conditions have been assessed, items to be taken into account include:

- **Outfall disposal** - Satisfactory outfall disposal is essential where septic tank sewage disposal is installed. Environment Agency consent may be needed in England & Wales. Ground conditions may preclude the use of septic tanks in some locations. The AI may require evidence of a satisfactory percolation test where a septic tank drainage system is to be installed. Septic tanks should be sited taking account of site topography to ensure that water is drained away from the building.
- **Impermeability to liquids** - Septic tanks should be impermeable to their contents and to sub-soil water and constructed of glass reinforced plastic by Klargester (or similar approved manufacturers).
- **Cover and ventilation** - Septic tanks should be covered and ventilated. A 50mm inspection and access - Septic tanks should be sited at least 7m from a dwelling, but within 30m of a vehicle access to facilitate emptying. Septic tanks should be provided with access for emptying or de-sludging and cleaning. All such access points where entry is required should have no dimension less than 600mm and be provided with hinged covers, ladders and outlets of septic tanks should be provided with access for inspection.
- **Velocity of flow** - Provision should be made to limit the velocity of the flow in a septic tank, for drains up to 150mm diameter, the velocity may be limited by laying the last 12m of the incoming drain at gradient not steeper than 1:50. A dip pipe should be provided with the top limb rising above secure level and the bottom limb extending about 450mm below top wall or level.

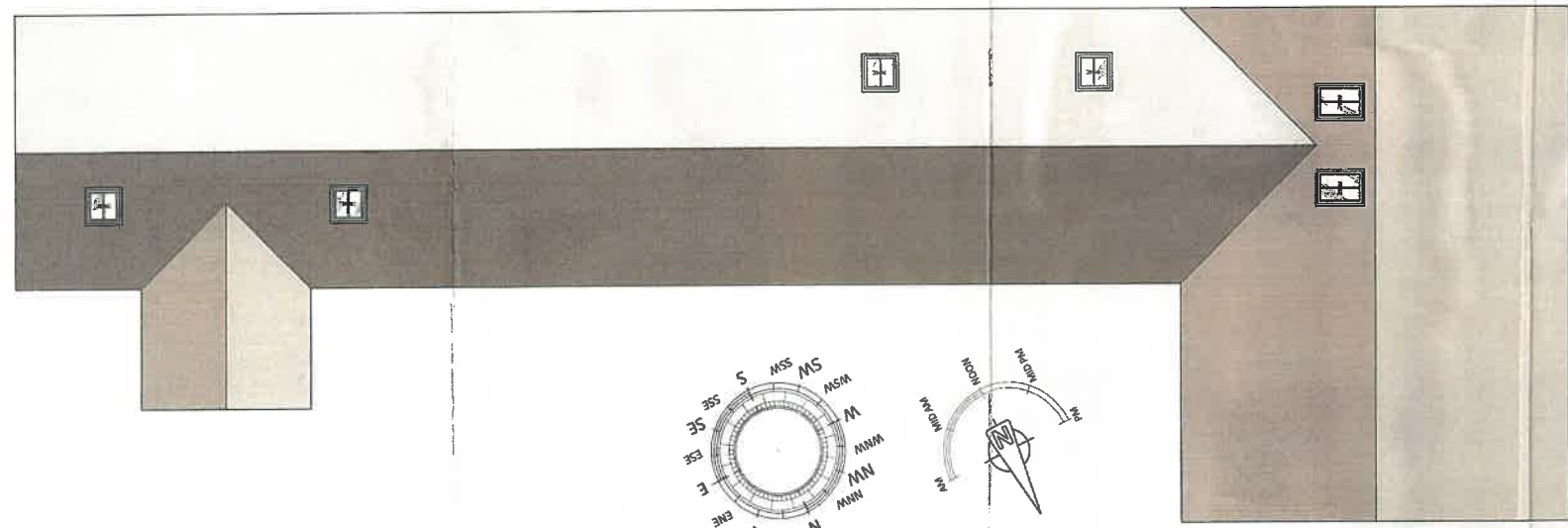
Specification

© J.P. Architects
 THESE PLANS MUST NOT BE ACTED UPON UNTIL THEY HAVE BEEN APPROVED IN ACCORDANCE WITH BUILDING REGULATIONS 2010 & ANY SUBSEQUENT AMENDMENTS, SUPPLIED BY THE COUNCIL ON CONTRACTOR COMMENCEMENT WORK WITHOUT THE ABOVE APPROVAL. THEN THEY DO SO AT THEIR OWN RISK. CONTRACTOR MUST CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT ON SITE, ANY AMBIGUITIES TO BE REPORTED. DO NOT SCALE FROM DRAWINGS, FIGURED DIMENSIONS ONLY TO BE USED.



CYLLUN DWYGIEDIG
 REVISED PL. 1
 Datwyblydd/Approved: 20/02/19
 Llofnod/Covered: MJC

Proposed Roof Plan



Generally, dimensions for the preparation of drawings are taken internally and include plaster depths. This can lead to variations in stated dimensions due to plaster depth and separations. Therefore ALL stated dimensions MUST be checked on site prior to ANY work in site commencing.

Where new walls are shown as aligned with existing walls, this must be checked by the physical removal of brickwork and/or plaster to establish the actual position of the wall being attached to.

External & internal masonry walls are assumed to be load bearing. This must be confirmed on site by the excavation of a trial hole if required - refer to AI, for position & number required) in order to check the suitability of any masonry wall (or its foundation) construction for any additional loading, refer to AI / J.P. for further instruction should the existing wall conditions prove to be unsuitable.

Areas shown as 'Existing opening to be built up' to be built as the construction surrounding the opening, new masonry attached by 'hooking' or by proprietary fixing systems such as 'Quasim' Galvalume Cornwell Systems - inner leaf galvanised to BS EN 10311:2008 - outer leaf 304 Austenitic S/S to BS EN 10088-2/AS 14001.

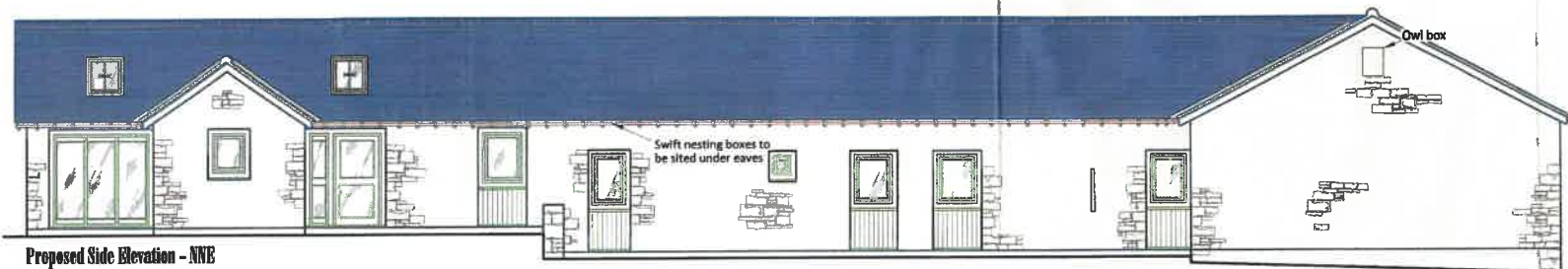
FOR PLANNING PURPOSES ONLY

23-24-19 Units renumbered - for clarity

| AMENDED PROPOSALS | |
|-------------------------|---------------------|
| Home CAD Format | - AIA/AC1013 |
| Printer Driver | - Acrobat Distiller |
| Paper Size | - A1 - 594x841mm |
| Resolution | - 600 |
| Colour Format | - 256 colours |
| Plotting Software | - Adobe Acrobat |
| Printed & Verified | - Yes |
| Satisfied with Accuracy | - Yes |

DATE: 12th of February 2019
 JOB: Refurbishment of existing dwelling to Holiday Let and Refurbishment / Extension of outbuildings to four Holiday Lets (4 Holiday Lets in total)
 FOR: Rod & Mel Dalmer
 AT: Conry (Dc, Llangrannog, Pwllheli, Gwynedd)
 POSTCODE: LL53 8NL
 DRG: DRG-Proposed Outbuilding Floor & Roof Plans
 PROJECT No: Buhwelli
 SCALE: 1:50 @ paper size - A3 (other scales as noted)
 EXTINGS: JJ PLANNING: CJ BUILDING ROOF: CJ

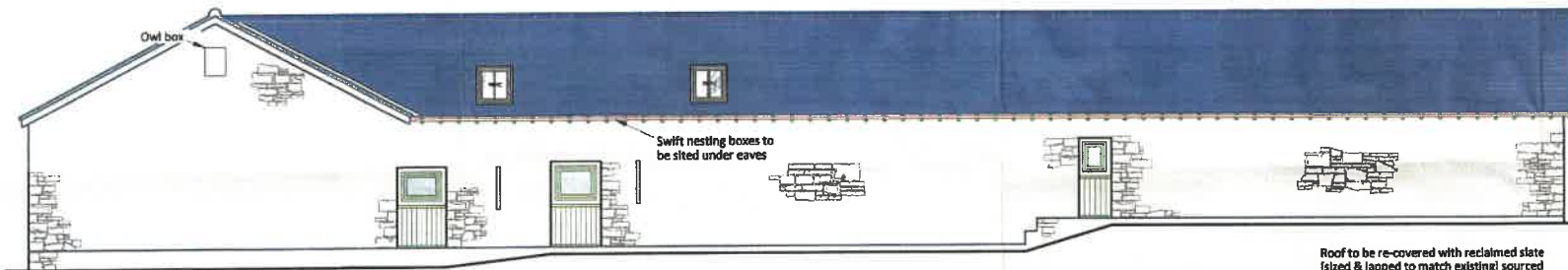
Office - 62a Penybry Road, Harwell, Wirral, CH60 7RE
 T: 0151 342 2779
 E: chris@heneidjones.com
 W: heneidjones.com



Proposed Side Elevation - NNE

Proprietary boxes [available from The Barn Owl Trust] to be sited to encourage occupation by Barn owls, boxes are large & square [sometimes triangular] with a ledge outside the entrance for young owls to stand on.
Barn owl boxes to be sited between 3 and 5m above the ground and sited as to face away from prevailing winds.

If in any doubt then seek guidance from 'The Barn Owl Trust' tel: 01364 653026



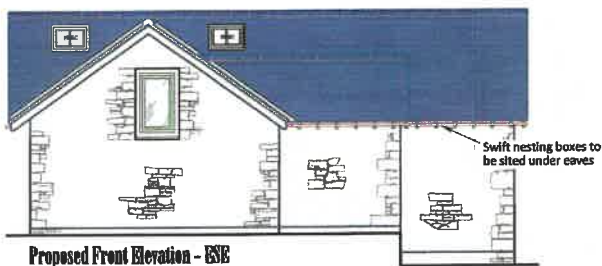
Proposed Side Elevation - SSW

Proprietary bird boxes to be sited under the over-hanging eaves to encourage occupation by Swifts.

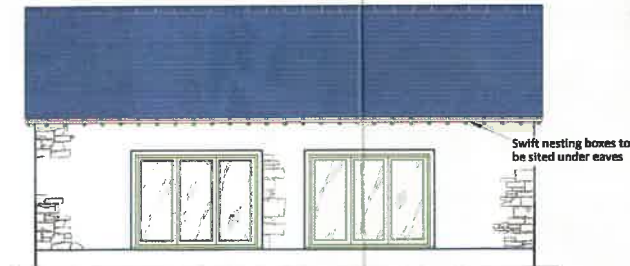
Bird boxes to have a narrow entrance hole in the base, which will not appeal to nesting Sparrows or Starlings, thereby increasing the chances of occupation by Swifts.

Boxes to be set as high as possible, with a clear 'flight-path' as Swifts need to be able to freefall as they leave the nest.

CYNLLUN DIWYGIEDIG
REVISED BY
Deddyrwyd/Revised by... 2/8/17
Llofnod/Signature... JKD



Proposed Front Elevation - SSE



Proposed Rear Elevation - WNW

Roof to be re-covered with reclaimed slate [sized & lapped to match existing] sourced locally - any additional slates required are to be sourced at the earliest opportunity and mixed in with the existing PRIOR to commencement.

Barge boards, rafter feet and external timber works to match existing finishes

Guttering & downpipes to match the existing

Windows / Doors to be of painted timber

Elevations to be of stonework, harvested from the existing structure - where possible - any additional stone required is to be sourced locally, at the earliest opportunity and mixed in with the existing PRIOR to commencement, finished to match the existing finish as closely as possible.

Specification

© JJP Architecture
THESE PLANS MUST NOT BE ACTED UPON UNTIL THEY HAVE BEEN APPROVED BY ACCORDANCE WITH RELEVANT REGULATIONS 2013 & ANY SUBSEQUENT AMENDMENTS. SHOULD THE OWNER OR CONTRACTOR COMMENCE WORKS WITHOUT THE ABOVE APPROVAL, THEN THEY DO SO AT THEIR OWN RISK. CONTRACTOR MUST CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT ON SITE, ANY ANOMALIES TO BE REPORTED. DO NOT SCALE FROM DRAWINGS, PROVIDED DIMENSIONS ONLY TO BE USED.

FOR PLANNING PURPOSES ONLY

Site to be used only for the demolition / construction of the proposed works, which is to be protected at all times along with adjacent properties, not forming part of the works.

Care must be taken at all times to ensure that any works on the supply of all services into / from property (ie electricity, water, gas, communications etc., fixed & surface water drainage) does not, at any time interfere with the supply of services into / out from the adjacent properties, if not affected, if the power not to be the case, then the Contractor is to fully advise properties affected, as soon as possible to known and (where necessary) is to negotiate with adjacent properties regarding any appropriate action that may be required.

All works on existing underground services or any new works proposed must comply with the National Joint Utilities Group (NJUG) Guidelines Volumes 1 - 6.

Prevent smoke, dust, fumes, spillages & other harmful activities. No fires to be allowed on site, at any time, noise levels to be kept to a reasonable level, complying with BS 5224. Noise control on construction sites - remember that the adjacent properties are occupied, and comply with all reasonable requests from the general public / neighbours regarding the use of power tools etc.

DANGER

Services to and from existing buildings, care must be taken when excavation is taking place near these positions.

If the position of Electricity service cables is not apparent then Contractor MUST confirm the position with Electricity Board, BEFORE ANY works commence on site, position of service cables to be marked on site & also on site copy of plans, once position is established.

WATER supply to be located & isolated prior to removal of any pipework, water supply pipes to be adequately protected from accidental / willful damage at all times, contact Water Authority for advice etc.

In order to reduce potential root disturbance during construction works, if there are trees / root systems within a likely zone of influence (generally considered to be 1.2 x the diameter of the stem of the tree of the proposed works then protection is required and reference should be made to current industry guidelines BS 5837: Trees in Relation to Construction, 1991, pt's 7 & 8.

Protective measures are designed to reduce against close proximity development disturbance & should be implemented PRIOR to any breaking ground works, demolition OR construction.

Protection areas around trees should be closed as Total Exclusion Zones (TEZ) and NO storage of materials, tools, machinery, site offices, other temporary buildings, other building supplies or any works should take place within TEZ under any circumstances and all TEZ's should remain in place for the duration of the development works. Signs should be attached to protective fencing indicating such measures are in force.

Any works to protected trees MUST be in accordance with BS5837:2012 'Trees in Relation to Design Demolition and Construction' & PRIOR agreement with the Arboricultural Officer of the Local Authority.

Any tree replacement scheme to be agreed in writing with the Arboricultural Officer and to be put into action during the first planting season other works on site have been completed.

AMENDED PROPOSALS

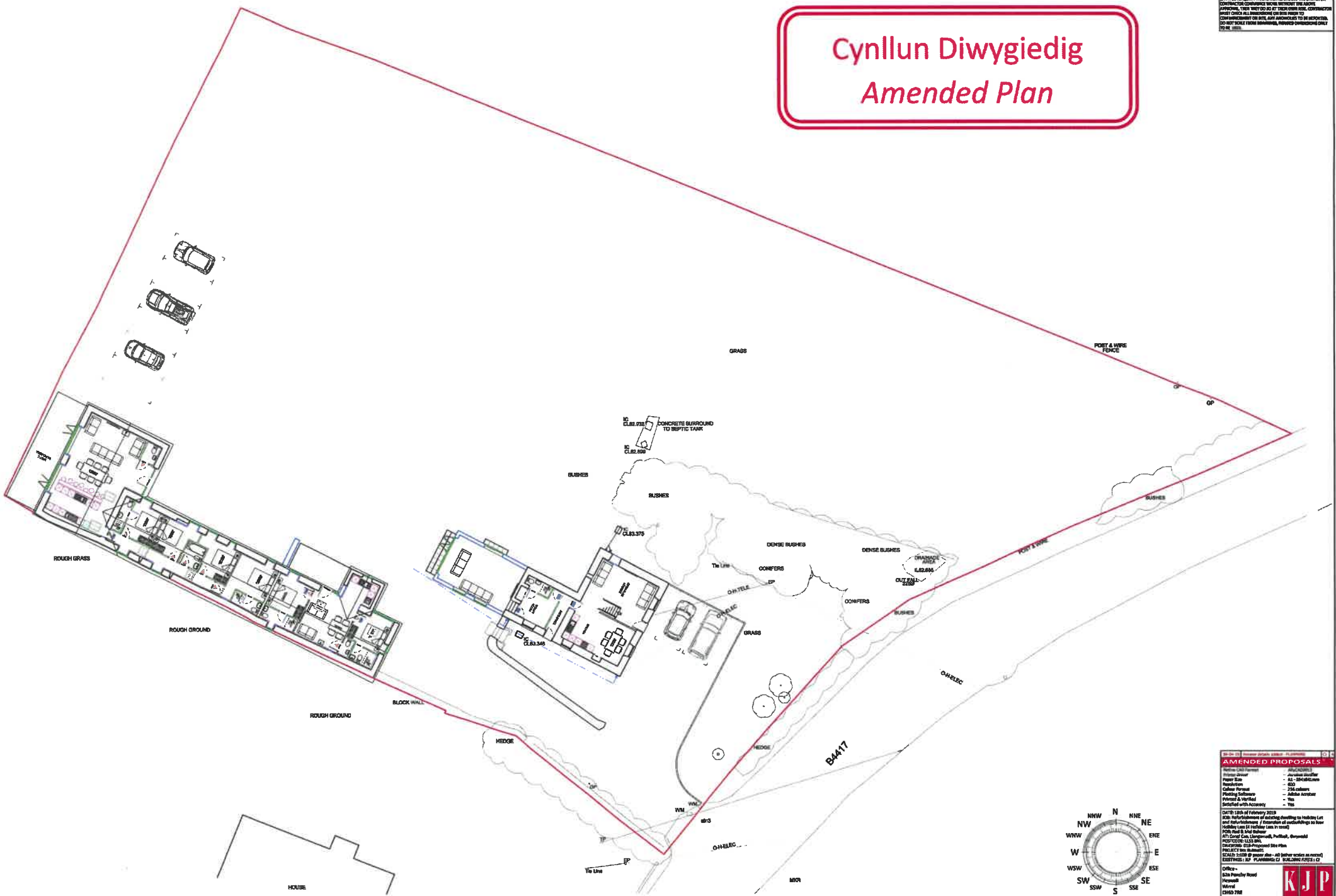
| | |
|-------------------------|---------------------|
| Printer Format | - A4x A3 (1013) |
| Printer Driver | - Acrobat Distiller |
| Paper Size | - A1 - 594x841mm |
| Resolution | - 600 |
| Colour Format | - 256 colours |
| Plotting Software | - Adobe Acrobat |
| Printed & Verified | - Yes |
| Satisfied with Accuracy | - Yes |

DATE: 18th of February 2019
JOB: Refurbishment of existing dwelling to Holiday Let and Refurbishment / Extension of outbuildings to four Holiday Lets (4 Holiday Lets in total)
FOR: Rod & Mel Bulmer
AT: Conal Cae, Llanymawr, Pwllhel, Gwynedd
POSTCODE: LL53 8NL
DRAWING: 028-Proposed Outbuilding Elevations
PROJECT No: Bulmer03
SCALE: 1:50 @ paper size - A1 [other scales as noted]
EXISTINGS: JJ PLANNING: CJ BUILDING RIGHTS: CJ

Office:
62a Penrhy Road
Heswall
Wirral
CH60 7BE
T: 0151 342 2779
E: chris@newcityjones.com
W: benefieldjones.com



Cynllun Diwygiedig Amended Plan



AMENDED PROPOSALS

| | |
|-----------------|-------------|
| Retain Existing | As Proposed |
| Remove | As Proposed |
| Planting | As Proposed |
| Drainage | As Proposed |
| Access | As Proposed |
| Other | As Proposed |
| Other | As Proposed |
| Other | As Proposed |
| Other | As Proposed |
| Other | As Proposed |

DATE: 12th of February 2019
SCALE: 1:500 (to ground level - all heights unless stated)
PROJECT: THE HARWELL JOINT PARTNERSHIP LTD
CLIENT: THE HARWELL JOINT PARTNERSHIP LTD
ARCHITECT: KJP
 100, The Harwell Road
 Harwell
 Oxford OX8 2HE
 T: 01845 242 2799
 E: info@kjp.com
 W: www.kjp.com