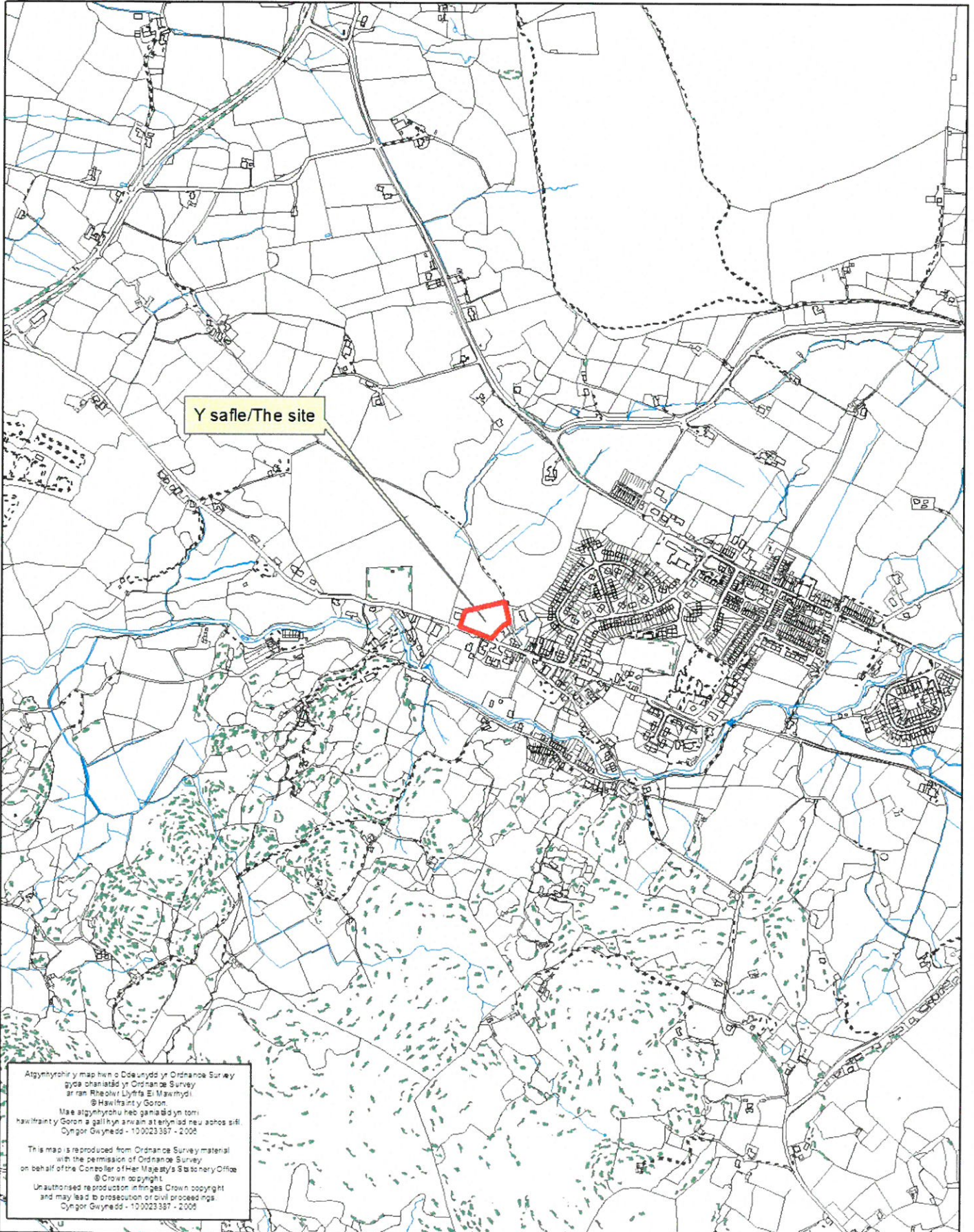
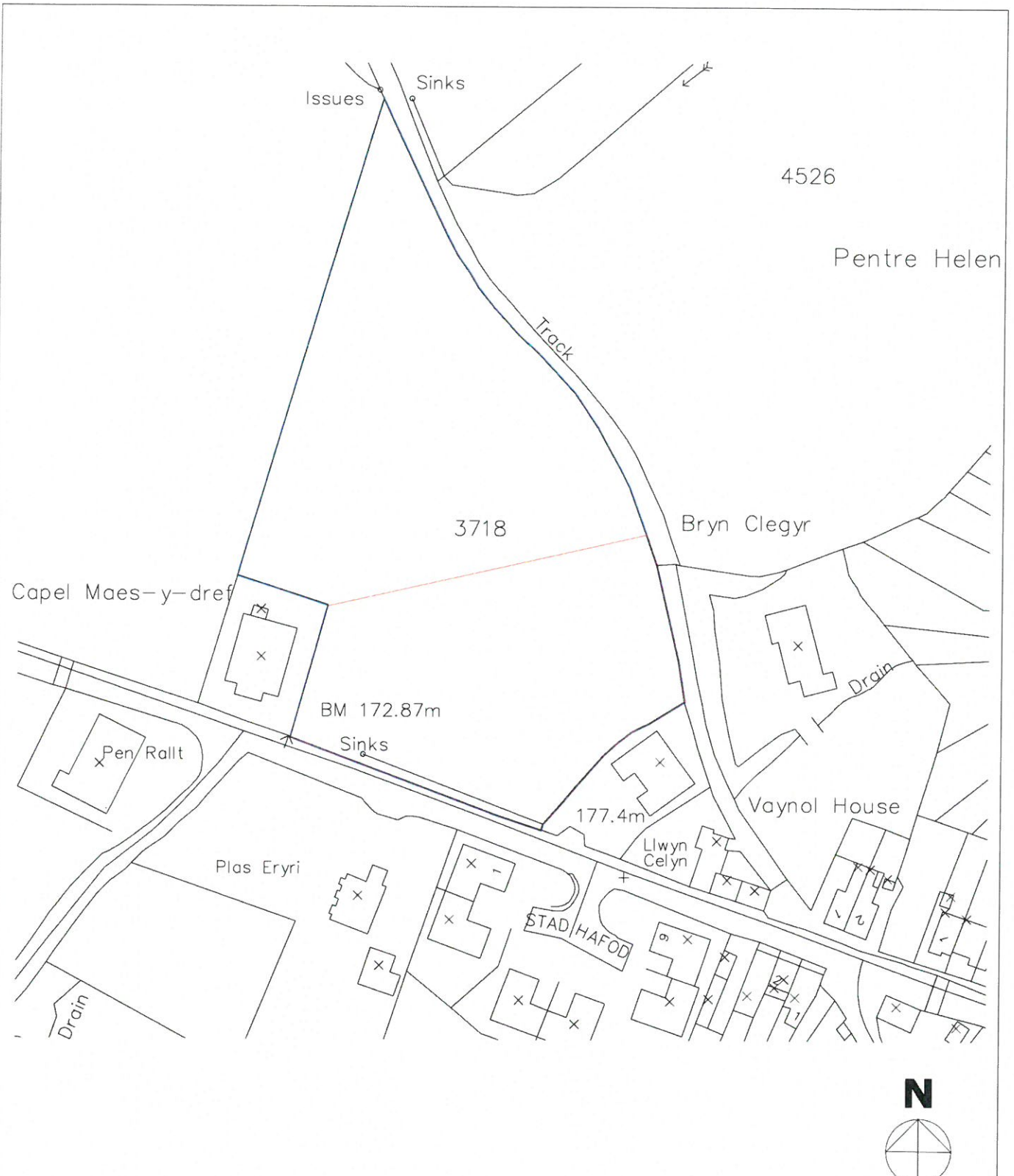



Rhif y Cais / Application Number : C16-0367-18-LL

Cynllun lleoliad ar gyfer adnabod y safle yn unig. Dim i raddfa.
Location Plan for identification purposes only. Not to scale.





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 <p>Syrtefwr Siartredig Adolladaw Rheolwr Prosiect Ymgynhorwyr Pensaernïol Ymgynhorwyr Adolladaw Hanesyddol</p> <p>Chartered Building Surveyors Project Managers Architectural Consultants Historic Building Consultants</p>	<p>Menai House Holyhead Road Llanfairpwll Anglesey LL61 5UJ</p> <p>(01248) 715006 (01248) 715012 www.dewis.uk.com info@dewis.uk.com</p>	<p>Job Site at Clwt y Bont, Gwynedd</p>			
		<p>Client Mr Paul Sterry</p>			
<p>Drawing Location Plan</p>		<p>Drwg. No. D506.01</p>	<p>Rev. .</p>	<p>Scale 1:1250</p>	<p>Drawn by RM</p>
<p><small>This drawing must be read in conjunction with all related drawings. Measured surveys are subject to site constraints. All dimensions must be checked and verified on site before commencing any work or producing shop drawings. DEWIS should be notified immediately of any discrepancies. Only figured dimensions are to be worked to. This drawing is copyright and remains the property of DEWIS.</small></p>		<p>Plot Date 26 Nov 2015</p>	<p>Size A4</p>	<p>Issue Status Planning</p>	<p>Approved by DRH</p>

No.	Description	Date
A	Approved planning req.	26/07/2018
B	Approved planning req.	23/06/2018

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Paul Sherry

Site at Clivt Y Bont

Proposed Elevations Plots 9-12
Banglows

Drawg. number: **D506.07B**

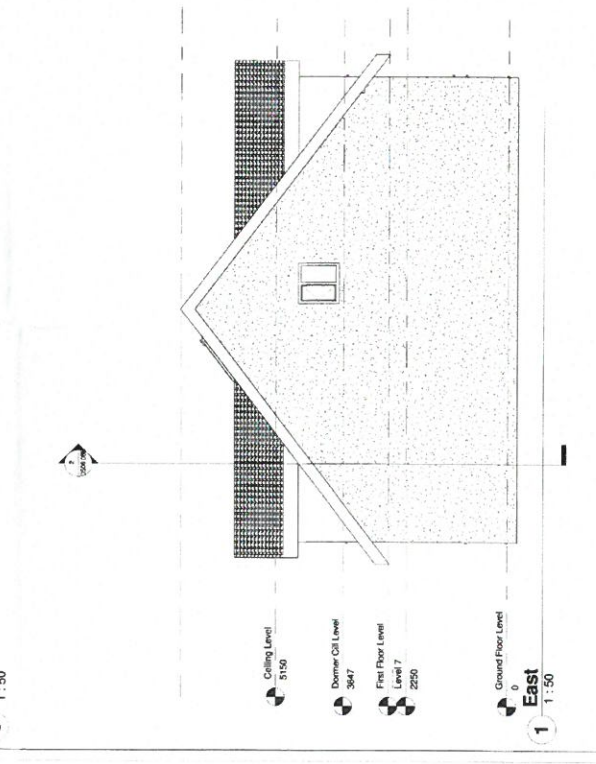
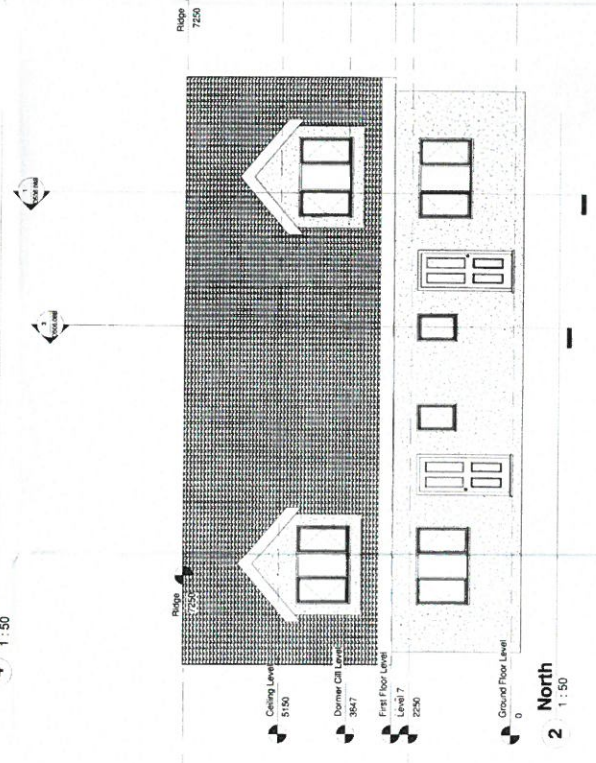
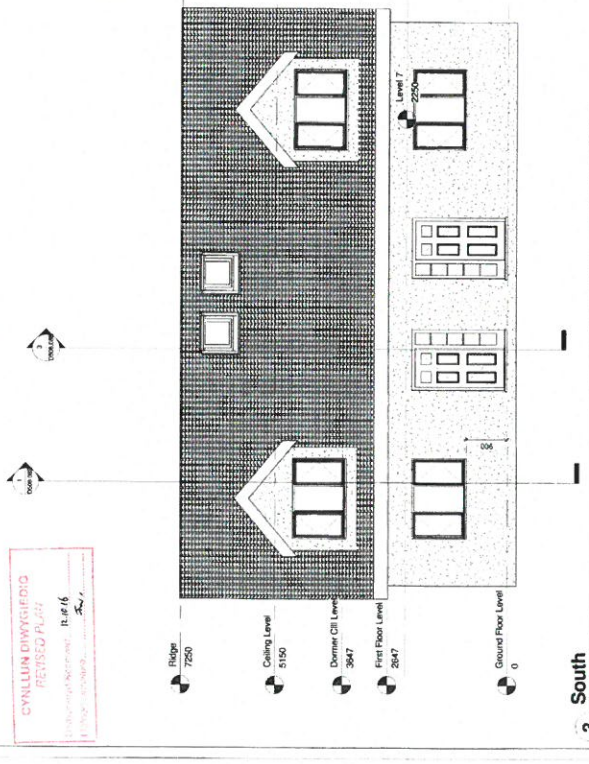
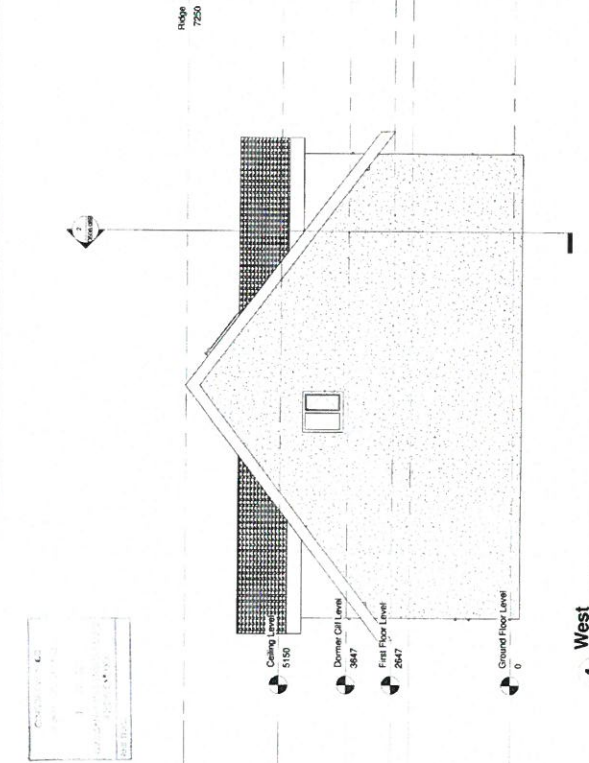
Date: 27.11.15

Drawn by: RH

Checked by: DRH

Issue Status: Planning

Scale: As Shown @ A1



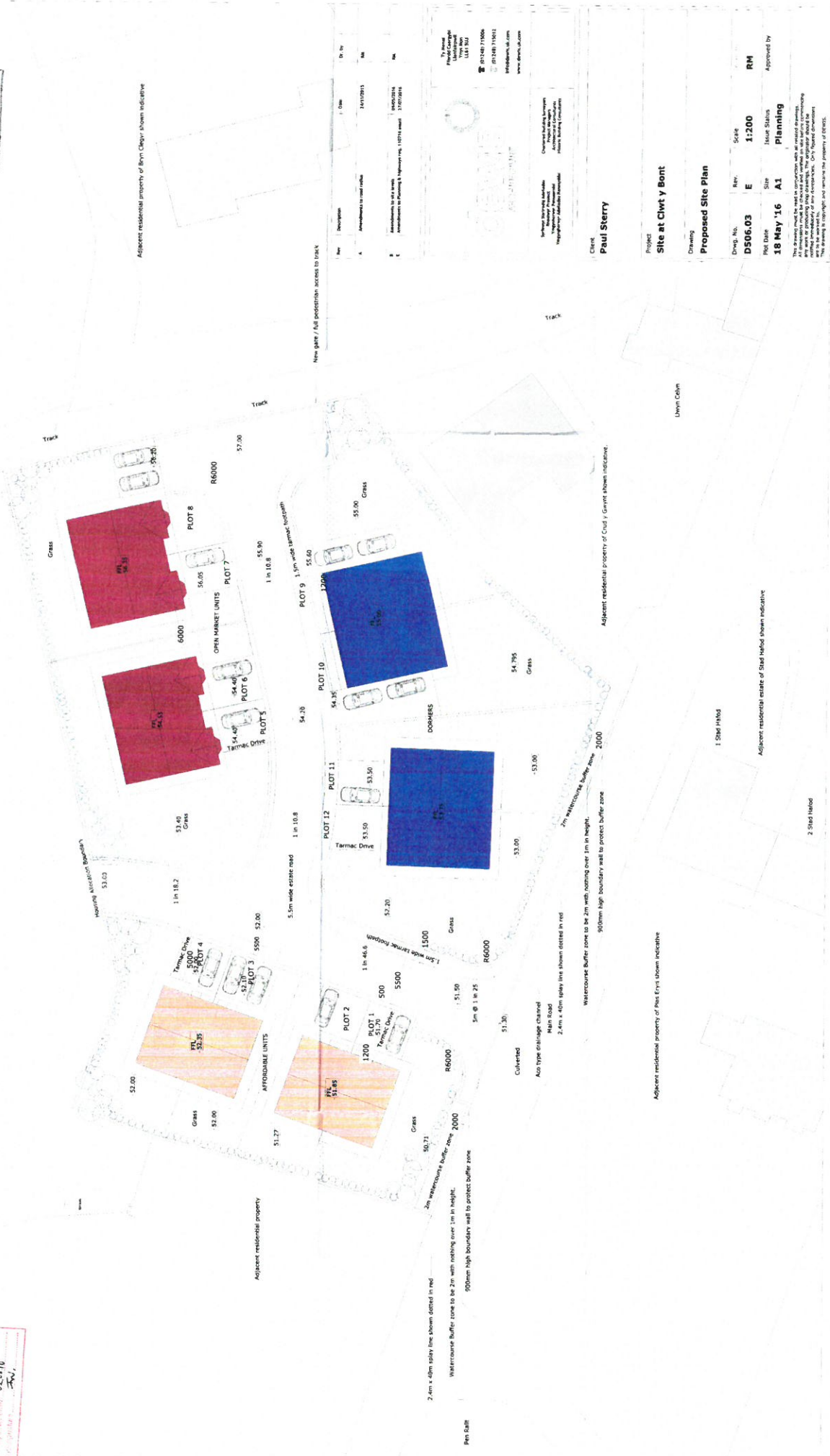
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REGISTERED PLANNING
16.10.16

1:250 1:250 1:250 1:250

N

CYNLLUN DIWYGIEDIG
REVISED PLAN
 02/07/16
 CYNLLUN DIWYGIEDIG
 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

CYNLLUN DIWYGIEDIG
ADRIAN HUGHES
 8-2 WEST 20th
 GWYBODAETHYDDIADAU
 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100



New gate / full pedestrian access to track

Adjacent residential property of Cwrt y Gwnt shown indicative.

Adjacent residential property of Pils Erri shown indicative.

Adjacent residential estate of Star Hillod shown indicative.

Adjacent residential property of Bryn Clegyr shown indicative.

2.4m x 40m spire line shown dotted in red
 Watercourse Buffer zone to be 2m with nothing over 2m in height.
 900mm high boundary wall to protect buffer zone

Pen Sallt

Collected
 Aus type drainage channel
 Main Road
 2.4m x 40m spire line shown dotted in red
 Watercourse Buffer zone to be 2m with nothing over 2m in height.
 900mm high boundary wall to protect buffer zone

No	Description	Date	By
1	Issue for tender	14/11/2015	AM
2	Revisions to set works	14/02/2016	AM
3	Revisions to set works	14/02/2016	AM
4	Revisions to set works	17/02/2016	AM

Paul Sterry
 Project Manager
 01248 115004
 01248 115012
 paul.sterry@sterry.com

Client
Paul Sterry

Project
Site at Cwrt y Bont

Drawings
Proposed Site Plan

Drawg. No.	Rev.	Scale
DS06.03	E	1:200

Issue Date
18 May '16

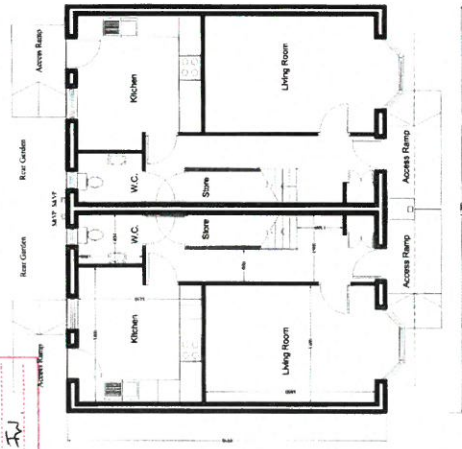
Issue Status
Planning

Approved by
RM

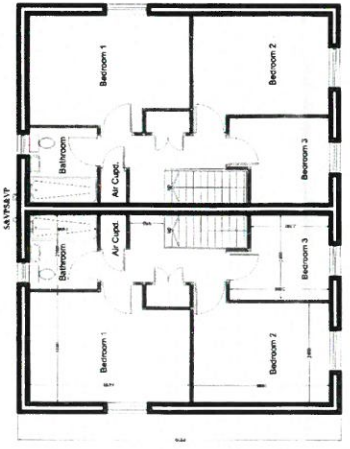
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CYNLLUN DIWYGIEDIG
REVISED PLAN
 02.08.16
 Derbyniwyd/Received
 Llofnod/signature

CYNGOR GWYNEDD
 ADRIAN RHODELLODIO
 02 ABBEY 2016
 GWASANAETH CYNLLUNOADAU
 AMGŴLCHEDD
 INFRASTRAC



Ground floor plan



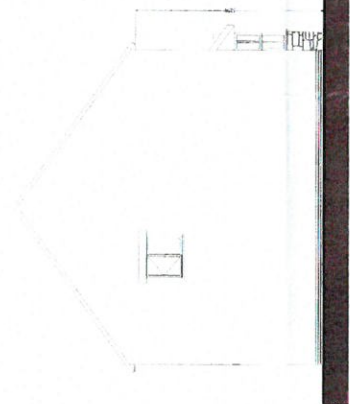
First floor plan



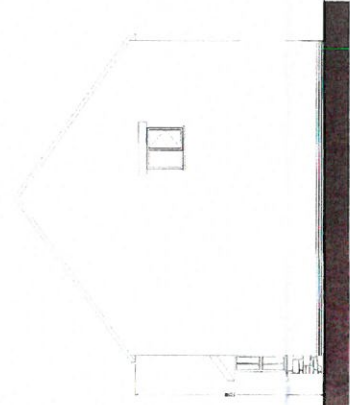
Front Elevation



Rear Elevation



Side Elevation



Side Elevation

- Finishes
 Walls - Primer Coloured Smooth Render
 - Neutral Stone cladding
 Roof - Neutral Slate
 - Blue Black Stockade Ridge Tiles
 Doors & Windows - White PVCu
 Rainwater Goods - Black PVCu
 Facade Boards - Black PVCu

Project Name	Site at Cwty Bont, Gwynedd
Client	Paul Stery
Project No.	DS005.04
Scale	A 1:100
Date	25 Nov '15
Author	AL
Checker	Planning
Project Manager	DNH



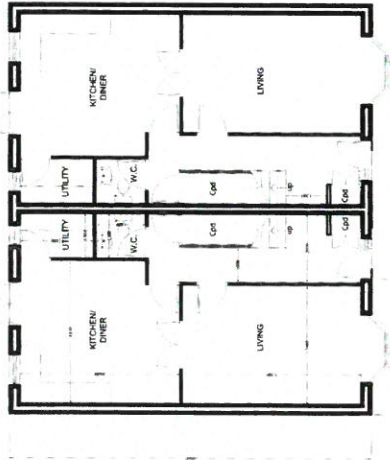
dewis
 ARCHITECTURE
 100, The Old Mill, Llanfair-ym-Muallt, Gwynedd, LL57 2JG
 Tel: 01248 371111
 Fax: 01248 371112
 Email: info@dewisarch.co.uk
 www.dewisarch.co.uk

Prepared Plans & Elevations
 PROS 1 to 4 - Affordable Dwellings
 25 Nov '15 AL Planning
 This warranty is intended to and operates for the benefit of the purchaser of the property.

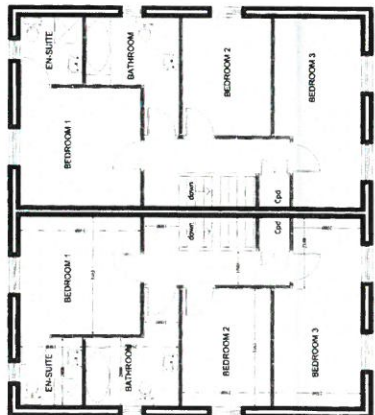
**CYNLLUN DIWYGIEDIG
REVISED PLAN**

Derbynwyd/Received: 02.03.16
Ubllocc/signature

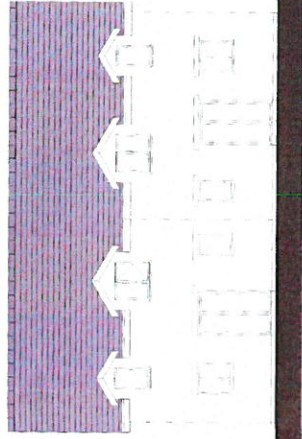
CYMRU/CYMRU
GWAISNATH CYLLUS
AMBLICHEDD
ARRETO



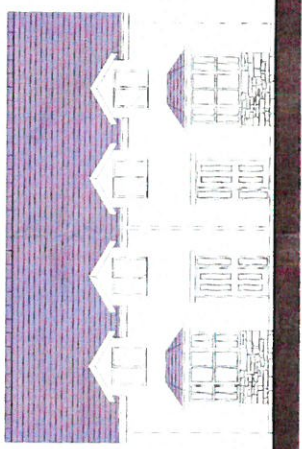
GROUND FLOOR PLAN



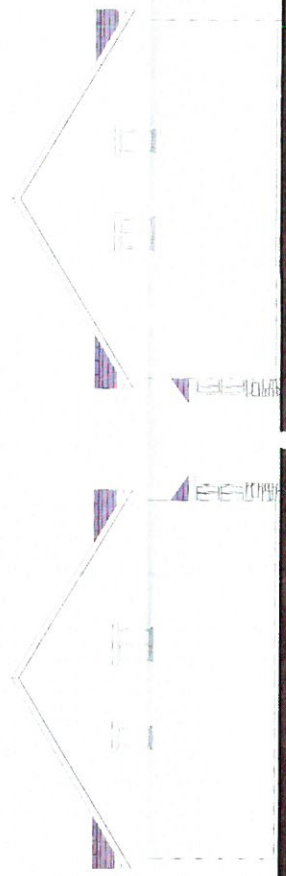
FIRST FLOOR PLAN



FRONT ELEVATION



REAR ELEVATION



SIDE ELEVATION

SIDE ELEVATION

- Finishes - Painted/Coloured Smooth Render
- Walls - Natural Stone masonry
- Roof - Natural Slate
- Blue Black Squared Ridge Tiles
- Doors & Windows - White PVCU
- Rainwater Gutter - Black PVCU
- Fence Boards - Black PVCU



Paul Sterry

Site at Clwyd y Bent, Gwynedd

Proposed Plans & Specifications
Plots 2 to 8 - Open Market Dwellings

Plot No.	A	Area	11100	Plot No.	DBH
Date	27 Nov '15	AS	Planning		

The plans have been submitted with all relevant information and are subject to the approval of the Local Planning Authority. The plans are not to be used for any other purpose without the written consent of the architect.